



**CITY OF OWOSSO PLANNING COMMISSION**  
**Regular Meeting**  
**Monday, April 22, 2024 at 6:30 p.m.**  
**AGENDA**

- A. CALL TO ORDER**
- B. PLEDGE OF ALLEGIANCE**
- C. ROLL CALL**
- D. APPROVAL OF AGENDA – April 22, 2024**
- E. APPROVAL OF MINUTES – March 25, 2024**
- F. ELECTION OF OFFICERS (DUE in July of 2024)**
- G. PUBLIC HEARINGS:**
- H. SITE PLAN REVIEWS:**
  - 1. Washington Park  
(Master Plan Implementation Goals: 1.24, 2.13, 5.15)
- I. ITEMS OF BUSINESS:**
- J. COMMISSIONER/CITIZEN COMMENTS:**
- K. ADJOURNMENT**

**Next regular meeting will be on Tuesday, May 28, 2024 at 6:30 p.m.**

*The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours' notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500. The City of Owosso website is: [www.ci.owosso.mi.us](http://www.ci.owosso.mi.us)*

**MINUTES**  
**REGULAR MEETING OF THE OWOSSO PLANNING COMMISSION**  
**Monday, March 25, 2024 – 6:30 P.M.**

**CALL TO ORDER:** Chairman Wascher called the meeting to order at 6:30 p.m.

**PLEDGE OF ALLEGIANCE:** Recited

**ROLL CALL:** Tanya Buckelew

**MEMBERS PRESENT:** Commissioner Law, Vice-Chair Livingston, Commissioners Robertson, Schlaack, Taylor, and Chairman Wascher

**MEMBERS ABSENT:** Secretary Fear, Commissioners Martin and Owens

**OTHERS PRESENT:** Tanya Buckelew, Planning & Building Director; Justin Sprague, CIB Planning

**APPROVAL OF AGENDA:**

**MOTION BY VICE-CHAIR LIVINGSTON, SUPPORTED BY COMMISSIONER ROBERTSON TO APPROVE THE AGENDA FOR March 25, 2024.**

**YEAS ALL. MOTION CARRIED.**

**APPROVAL OF MINUTES:**

**MOTION BY VICE-CHAIR LIVINGSTON SUPPORTED BY COMMISSIONER TAYLOR TO APPROVE THE MINUTES FOR THE January 22, 2024 MEETING.**

**YEAS ALL. MOTION CARRIED.**

**PUBLIC HEARING:** None

**SITE PLAN REVIEW:**

**1. SITE PLAN REVIEW FOR 900 ADA STREET AND 901 N SHIAWASSEE STREET**

Jed Dingens, Architect on the project, detailed the proposed plans. Each lot would be a quad-plex (approximately 3,700 square feet), with two lower units and two upper. The lower units would be handicap accessible. Mr. Dingens further detailed the parking area layout, trash bins with screening, and a rain garden.

Justin Sprague, CIB Planning, stated the plans submitted and his review are based on the newly adopted zoning ordinance that takes effect in April 2024 and reviewed his letter of recommendations on the following:

1. **Information items.** The site plan meets the informational requirements of the ordinance.
2. **Proposed uses.** Development of two, quadplex multi-story residential buildings as permitted by the new City of Owosso Zoning Ordinance.
3. **Area and bulk.** The proposed site was reviewed in accordance with Article 16, Schedule of Regulations, as described in the following table:

<b>900 Ada (R-1 Zoning) Building 1</b>	<b>Required</b>	<b>Provided</b>	<b>Comments</b>
Front yard building setback	15 ft.	20 ft.	In compliance
Side yard building setback	10 ft.	10.6 ft.	In compliance
Side abutting	20 ft.	20.6 ft.	
Rear yard building setback	30 ft.	42 ft.	In compliance
Maximum building height	35 ft.	35 ft.	In compliance
<b>901 N Shiawassee (R-1 Zoning) Building 2</b>	<b>Required</b>	<b>Provided</b>	<b>Comments</b>
Front yard building setback	15 ft.	20 ft.	In compliance
Side yard building setback	10 ft.	10.6 ft.	In compliance
Side abutting	20 ft.	20.6 ft.	
Rear yard building setback	30 ft.	42 ft.	In compliance
Maximum building height	35 ft.	35 ft.	In compliance

4. **Building design & materials.** The ordinance states that durable building materials which provide an attractive, quality appearance must be utilized. The proposed building materials were presented at the meeting, which appear to be acceptable. Further design drawings, with the proposed colors and materials, are requested for a review.
5. **Building height.** The proposed building complies with the maximum building height.
6. **Mechanical units.** The zoning ordinance requires that all exterior mechanical equipment be screened. The applicant appears to show four A/C units on each corner of the building. These will require further screening than just the proposed shrubs.
7. **Dumpster.** Mr. Dingens updated the plans to reflect trash bins instead of a dumpster and the bins will be placed behind screening.
8. **Site lighting.** The plans show the center lighting at 24' tall from grade. Per ordinance, the lights can only be 20' tall from grade. Per Mr. Dingens, the plans will be updated.
9. **Parking lot requirements.** This requirement has been met except for the center lot spaces where the dimensions are 9' X 17.6' that have an overhang into a rain garden. A variance will need to be sought to allow the reduction in parking space size. The rain garden will require approval from the City Engineer for conformance with storm water requirements.
10. **Landscaping.** The landscaping plan complies with the ordinance, however, if additional landscaping is needed to screen exterior mechanical equipment that must be shown on the plan for final approval.
11. **Screening wall.** The site plan shows a proposed 4'6" screening wall as required by the ordinance but wall material details have not been provided. This information should be provided for Planning Commission approval.
12. **Other approvals.** The proposed/revised site plan must be reviewed and approved by the appropriate city departments, consultants and agencies (MDOT).
13. **Site survey required.** To determine further grades and site drainage
14. **Sidewalks.** Work with the City Engineer to meet the city's requirements

**MOVED BY COMMISSIONER ROBERTSON SUPPORTED BY VICE-CHAIR LIVINGSTON TO TABLE THE SITE PLAN REVIEWS FOR BOTH 900 ADA STREET AND 901 N SHIAWASSEE STREET UNTIL THE APRIL 2024 MEETING, PENDING THE SURVEY AND UPDATED PLANS.**

**YEAS: COMMISSIONER LAW, VICE-CHAIR LIVINGSTON, COMMISSIONERS ROBERTSON, SCHLAACK, TAYLOR AND CHAIRMAN WASCHER**  
**NAYS: NONE**  
**RCV MOTION CARRIED**

**COMMISSIONER/CITIZEN COMMENTS:**

Marv Sanders, 916 Ada, asked about the dumpster and will there be a truck picking it up early in the morning.

Tanya Buckelew responded with there would not be a dumpster but rather trash bins that have to be taken to the street on pick up day just like the neighbors.

Jim Slingerland, 908 Campbell, asked about the roof and about the exterior materials.

Jed Dingens stated it would be a flat roof and shared the sample materials with the audience.

Jason Harris, 900 Campbell, asked about zoning and how many apartments are allowed.

Justin Sprague stated a maximum of four units per lot is allowed for the R-1 zoning.

Rich Harsh, 816 Campbell, asked if this is the ideal location due to the narrowness of Jennett Street.

Discussion about adding no parking sign on Jennett Street to prevent further narrowing of the street.

Karen Harris, 900 Campbell, asked about the number of parking spots required.

Justin Sprague stated two spaces per unit is required for 2 bedrooms and 1.5 spaces for a one bedroom. The proposed plan is nine spaces (includes two handicap spaces).

**ADJOURNMENT:**

**MOTION BY COMMISSIONER TAYLOR SUPPORTED BY COMMISSIONER LAW TO ADJOURN AT 7:35 PM UNTIL THE NEXT MEETING ON APRIL 22, 2024.**

**YEAS ALL, MOTION CARRIED**

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**Janae Fear, Secretary**



April 15, 2024

Planning Commission  
City of Owosso  
301 W. Main Street  
Owosso, Michigan 48867

Subject: **Washington Park Site Plan Review.** Approximately 2.36 acres, located on the corner of N. Washington Street and W. Wesley Drive. Zoned RM, Multi-Family Residential District.

Attention: Tanya Buckelew, Planning and Building Director

Dear Planning Commissioners:

At your request, we have completed our review of the above site plan to build a multi-family residential development, consisting of two, eight-unit apartment buildings, one building roughly 4,785 square feet and the other roughly 5,000 square feet, for a total of approximately 9,785 square feet, at the corner of N. Washington Street and W. Wesley Drive. The applicant is proposing two, eight-unit multi-family structures with parking internal to the property, located behind the development, to be accessed from both N. Washington Street and W. Wesley Drive. The applicant is proposing site improvements, including landscaping, and will leave the wetlands on the west side of the property undisturbed. The property is currently zoned RM, Multi-Family Residential. This use is permitted under the recently revised and adopted Owosso Zoning Code.

The opinions in this report are based on a review of the site plan submitted by the applicant and conformance to ordinance standards. Please note that the applicant and their design professionals shall be responsible for the accuracy and validity of information presented with the application. In reaching a decision on the application, the Planning Commission should consider our comments along with those from other staff and consultants, additional information provided by the applicant, and your own findings based on ordinance standards as part of your deliberation.

## REVIEW COMMENTS

*Section 38-180* of the City of Owosso Zoning Ordinance lists the submittal requirements for site plan review. Based on our review of the proposal, discussions with staff, meetings with the applicant and a visit to the site, we offer the following comments for your consideration:

- 1. Information items.** The site plan generally meets the informational requirements of the ordinance however the notes on the Layout Sheet reference the City of Lansing for permitting. **An updated plan should be provided with corrected notes.**
- 2. Proposed Uses.** Development of two, eight-unit, two-story multi-family apartment buildings as permitted by the City of Owosso Zoning Ordinance.
- 3. Area and Bulk.** The proposed site was reviewed in accordance with *Section 38-87*, as described in the following table.

	Required	Provided	Comments
<b>Washington Park (RM Zoning) Building 1 (Units 1-8)</b>			
<b>Front Yard Building Setback</b>	10 ft	10 ft	In compliance
<b>Side Yard Setback</b>	5 ft		In compliance
<b>Rear Yard Building Setback</b>	20 ft		In compliance
<b>Maximum Building Height</b>	2 stories (35 ft)	2 stories	In compliance

	Required	Provided	Comments
<b>Washington Park (RM Zoning) Building 2 (Units 9-16)</b>			
<b>Front Yard Building Setback</b>	10 ft	10 ft	In compliance
<b>Side Yard Setback</b>	5 ft		In compliance
<b>Rear Yard Building Setback</b>	20 ft		In compliance
<b>Maximum Building Height</b>	2 stories (35 ft)	2 stories	In compliance

**4. Building Design & Materials.** The ordinance states that durable building materials which provide an attractive, quality appearance must be utilized. **While the proposed building materials appear to meet the ordinance standards, materials have not been submitted demonstrating that they are consistent with the City of Owosso Zoning Ordinance.**

**5. Building Height.** The proposed building complies with the maximum building height.

**6. Mechanical Units.** The Zoning Ordinance requires that all exterior mechanical equipment be screened. The applicant appears to show 16 A/C units, one at the rear of each apartment unit, to be screened by shrubs.

**7. Dumpster.** The proposed dumpster enclosure is a concrete pad with concrete block walls. The gate is not specified on the site plan. **Per the City of Owosso Zoning Ordinance, Section 38-63, “the enclosure shall be constructed of brick or decorative concrete block material, consistent with the building materials of the principal building”. The gate must be made of vinyl or other high-quality material. Applicant also needs to provide dimensions of the dumpster enclosure on the plan.**

**8. Site Lighting.** Proposed lighting is in compliance with the Zoning Ordinance.

**9. Parking Lot Requirements.** The parking requirements for multiple-family residential units is 2.0 spaces per unit with two bedrooms and 2.5 spaces per unit with three or more bedrooms. **The applicant proposes 3, 3-bedroom units and 13, 2-bedroom units which would require 33.5 parking spaces. The applicant is proposing 28, 9' x 20' parking spaces and 2 barrier-free parking spaces for a total of 30**

**spaces. The proposed parking is not consistent with Section 38 – 185 of the City of Owosso Zoning Ordinance however, the Planning Commission may allow a lesser amount of spaces if the use will have a lesser demand than the ordinance requirement.**

**10. Landscaping.** The landscaping plan is in compliance with the ordinance.

**11. Driveway Spacing.** Section 38-206 of the Zoning Ordinance requires a separation of 130-feet from other driveways on the same side of the street. The proposed Washington Street driveway will only be 87-feet north of an existing driveway and does not meet the requirements of this section of the ordinance.

**Section 38-201(4) however gives the Planning Commission the ability to provide a waiver of this requirement if specific conditions apply. The applicant will need to demonstrate that the following conditions are met for the site to be eligible for a waiver to be approved by the Planning Commission.**

(a) Size of the parcel is insufficient to meet the dimensional standards.

(b) The spacing of existing, adjacent driveways or environmental constraints prohibit adherence to the access standards at a reasonable cost.

(c) The use will generate less than 500 total vehicle trips per day or less than 75 total vehicle trips in the peak hour of travel on the adjacent street, based on the most recent rates developed by the Institute of Transportation Engineers (ITE).

(d) There are no other reasonable means of access.

**12. Other Approvals.** The proposed site plan must be reviewed and approved by the appropriate city departments, consultants, and agencies.

#### **RECOMMENDATION**

Based upon the above comments, **we recommend approval of the Washington Park Site Plan, conditioned upon the following:**

1. Submission of a revised site plan that satisfactorily addresses the items in this letter, for administrative review and approval;
2. That the Planning Commission determines if the number of parking spaces is acceptable and approves a waiver for the fewer number of parking spaces;
3. That building materials are provided to determine compliance with the ordinance;
4. That the dumpster enclosure materials are acceptable and that the plans be revised to include enclosure dimensions;
5. That the Planning Commission determines if a the site is eligible for a waiver from Section 38-206 for driveway spacing;
6. Review and approval by the appropriate city departments, consultants, and agencies prior to issuance of a building permit.

If you have any further questions, please contact us at 810-734-0000.

Sincerely,

**CIB Planning**



Justin Sprague  
Vice President



# WASHINGTON PARK

## WASHINGTON AVENUE

### SECTION 12, TOWN 7 NORTH, RANGE 2 EAST

### CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN

**PROPOSED DEVELOPMENT DESCRIPTION:**

CONSTRUCTION OF A NEW MULTI-FAMILY RESIDENTIAL DEVELOPMENT. THE PROJECT CONSISTS OF 2-EACH EIGHT-PLEX STRUCTURES. ALL UNITS HAVE THEIR OWN FRONT AND REAR ENTRANCE. A PARKING LOT WILL BE LOCATED BEHIND THE BUILDINGS. NEW PUBLIC SIDEWALKS ARE PROPOSED ALONG BOTH WESLEY STREET AND WASHINGTON STREET. DEVELOPMENT WILL BE CONNECTED TO THE CITY OF OWOSSO PUBLIC WATER AND SANITARY SYSTEM. STORM WATER WILL CONNECT TO THE PUBLIC STORM SEWER IN WASHINGTON WHICH OUTLETS TO THE FORTMAN COUNTY DRAIN.

DEVELOPMENT INCLUDES SIXTEEN DWELLING UNITS CONSISTING OF 3 EACH THREE-BEDROOM UNITS AND 13 EACH TWO BEDROOM UNITS.

THREE BEDROOM UNITS: FLOOR AREA IS 1,360 SQ FT  
TWO BEDROOM UNIT FLOOR AREA IS 1,080 SQ FT

**PROPERTY DATA:**

SECTION = 12  
TOWN = 17N  
RANGE = R2E  
  
TAX ID NUMBER: 050-535-000-001-00  
LAND AREA = 2.36 ACRES  
DISTURBANCE LIMITS = 1.89 ACRES

**PROPOSED SITE LAND COVER:**

ROOF AREA: 9,785 SF  
WALKS, PATIOS & PARKING: 24,715 SF  
TOTAL IMPERVIOUS: 34,500 SF  
UNPAVED AREA: 68,302 SF  
TOTAL AREA: 102,802 SF (2.36 ACRES)

**LEGAL DESCRIPTION:**

(SHIAWASSEE PROPERTY RECORDS)  
COM 358' N & 33' W OF INTER S LN SEC 12 & C/L N WASH ST TH W 231' N 6' W 133.7' N 279' E 364.21' S 284' TO POB PART OF SE 1/4 SE 1/4 SEC 12 T7N R2E

**ZONING:**

EXISTING PARCEL ZONING: RM MULTIPLE FAMILY RESIDENTIAL - LOW RISE  
NO CHANGE IN ZONING IS PROPOSED.

**ADJACENT ZONING:**

NORTH: R-1  
EAST: OUTSIDE OF CITY (SINGLE FAMILY RESIDENTIAL)  
SOUTH: OS-1  
WEST: OUTSIDE OF CITY (SINGLE FAMILY RESIDENTIAL)

**BUILDING REQUIREMENTS:**

FRONT SETBACK = 10 FEET  
SIDE SETBACK = 5 FEET  
REAR SETBAK = 20 FEET  
MAX. BUILDING HEIGHT = 35 FEET

**BUFFER/PARKING SETBACKS:**

BUILDING TO PARKING LOT = 15 FEET  
SCREENING BETWEEN THE PARKING LOT AND RESIDENTIAL PROPERTY TO THE WEST IS REQUIRED. REQUIREMENT MET BY THE EXISTING FORESTED WETLANDS.

**PARKING SPACE CALCULATIONS:**

PARKING SPACE REQUIREMENTS  
1 1/2 SPACES PER DWELLING UNIT  
16 UNIT DEVELOPMENT = 24 SPACES REQUIRED

**PARKING SPACES PROVIDED:**

STANDARD SPACES = 30 SPACES  
ADA VAN ACCESSIBLE SPACES = 2 SPACES  
ADA STANDARD SPACES = 0 SPACES  
TOTAL PROVIDED SPACES = 32 SPACES

**PERMITS AND APPROVALS REQUIRED**

CITY OF OWOSSO  
SITE PLAN APPROVAL  
RIGHT OF WAY PERMIT (BY CONTRACTOR)

**SHIAWASSEE COUNTY DRAIN COMMISSION**

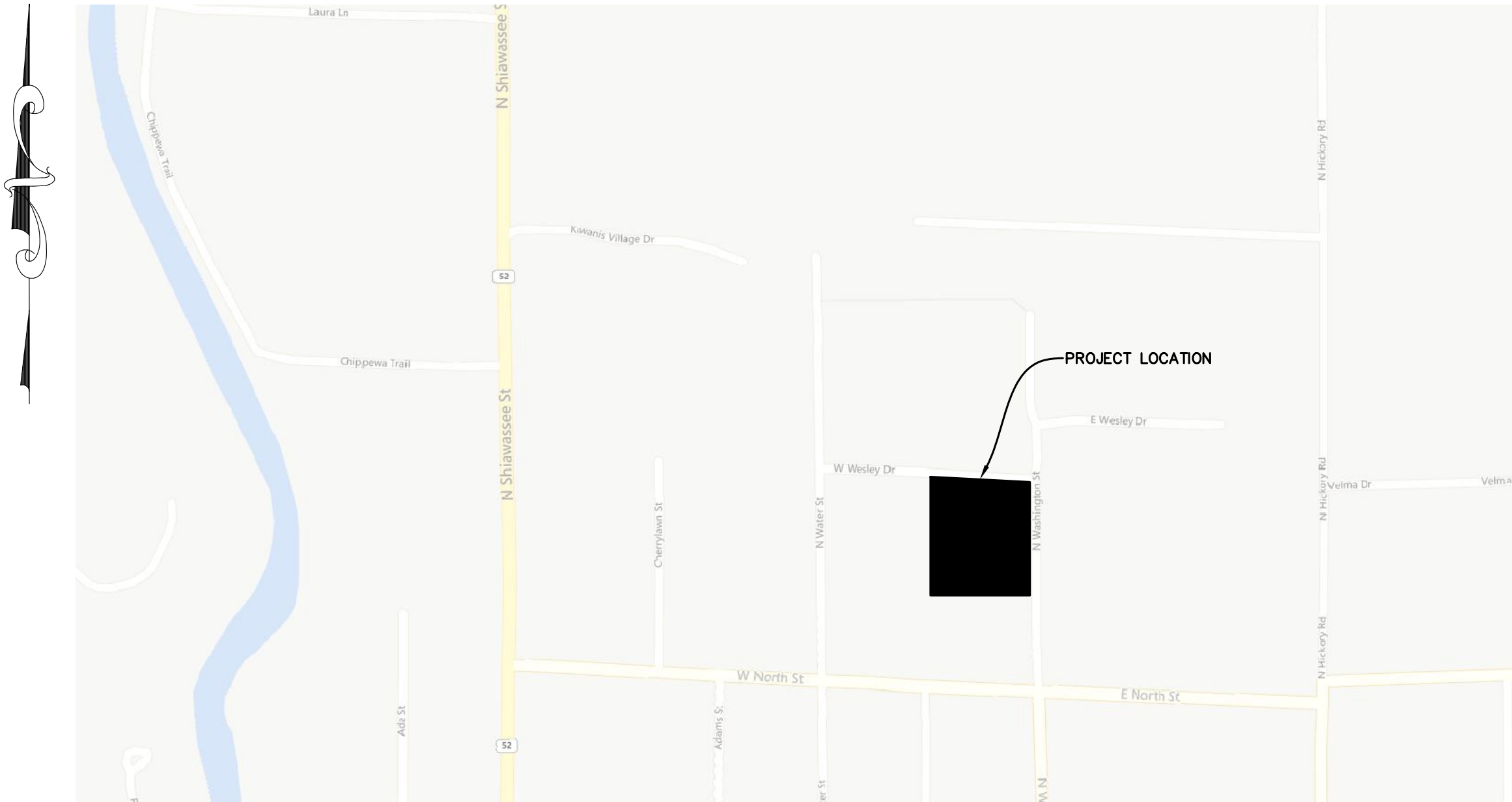
STORM WATER MANAGEMENT  
STORM WATER MAINTENANCE AGREEMENT  
ENGINEERS CERTIFICATE OF CONSTRUCTION  
ENGINEERS CERTIFICATE OF OUTLET

**SOIL EROSION AND SEDIMENTATION CONTROL**

SHIAWASSEE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT

**FLOOD HAZARD AREA:**

PROPERTY IS NOT LOCATED IN FLOOD HAZARD AREA.



SITE LOCATION  
NO SCALE

**LANDSCAPING PLAN REQUIREMENTS:**

**GREENBELT PLANTINGS:**

REQUIRED: 1 CANOPY TREE AND 6 UPRIGHT SHRUBS PER 30 LF  
- NORTH PROPERTY LINE = (365'/30) = 13 CANOPY TREES AND 73 SHRUBS  
- EAST PROPERTY LINE = (285'/30) = 10 CANOPY TREES AND 57 SHRUBS

PROVIDED:  
- NORTH PROPERTY LINE = 10 TREES AND 36 SHRUBS  
- EAST PROPERTY LINE = 9 TREES AND 43 SHRUBS

**PARKING LOT PLANTINGS:**

REQUIRED: 1 CANOPY TREE PER 8 PARKING SPOTS (32 PARKING SPOTS = 4 CANOPY TREES)

PROVIDED: 4 CANOPY TREES AND ONE EVERGREEN TREE

**BUFFER PLANTINGS:**

REQUIRED: - TYPE "A" BUFFER - 30' WIDE, 2 TREES AND 4 SHRUBS PER 20 LF.  
- TYPE "B" BUFFER - 10' WIDE, 1 TREE AND 4 SHRUBS PER 20 LF.

- NORTH PROPERTY LINE - TYPE "A" (365'/20' = 37 TREES AND 73 SHRUBS)  
- SOUTH PROPERTY LINE - TYPE "A" (364'/20' = 37 TREES AND 73 SHRUBS)  
- EAST PROPERTY LINE - TYPE "B" (285'/20' = 15 TREES AND 57 SHRUBS)  
- WEST PROPERTY LINE - TYPE "B" (279'/20' = 14 TREES AND 56 SHRUBS)

**PROVIDED:**

- NORTH PROPERTY LINE - 0 TREES AND 0 SHRUBS (GREENBELT)  
- SOUTH PROPERTY LINE - 10 TREES (7 EVERGREEN) AND 9 SHRUBS (5 PROPOSED EVERGREEN TREES, 2 EXISTING EVERGREEN TREES AND 3 EXISTING CANOPY TREES)  
- EAST PROPERTY LINE - 0 TREES AND 0 SHRUBS (GREENBELT)  
- WEST PROPERTY LINE - EXISTING +/- 75' NATURAL BUFFER (ADDITIONAL EVERGREEN SCREENING ADDED AT EDGE OF PARKING LOT)

**DETENTION BASIN PLANTINGS:**

REQUIRED: 1 CANOPY OR EVERGREEN TREE AND 10 SHRUBS PER 50 LF OF BASIN PERIMETER LENGTH = (409.5 LF PERIMETER/50 LF = 9 CANOPY TREES AND 82 SHRUBS)

PROVIDED: 10 CANOPY TREES AND 55 SHRUBS (6 PROPOSED CANOPY TREES, 3 PROPOSED EVERGREEN TREES, 2 EXISTING CANOPY TREES)

**SCREENING PLANTINGS:**

PROVIDED: 58 EVERGREEN SHRUBS (A/C UNIT SCREENING)

<b>OWNER</b>	VENTURE, INC. 196 CESAR E CHAVEZ AVE. PONTIAC, MI 48342 (517) 256-0286
<b>ARCHITECT</b>	ASL ARCHITECTURE   DESIGN 720 E. MICHIGAN AVE, SUITE 210 LANSING, MI 48912
<b>ENGINEER</b>	DC ENGINEERING PC 1210 NORTH CEDAR ST, SUITE B LANSING, MICHIGAN 48906 (517) 852-7866
<b>CONTRACTOR</b>	TO BE DETERMINED

<b>CONTACTS:</b>	
<b>PLANNING</b>	Tanya Buckelew City Hall 301 West Main Owosso, MI 48867 (989) 725-0540
<b>TRANSPORTATION</b>	
<b>GAS, ELECTRIC</b>	CONSUMERS ENERGY 530 WEST WILLOW STREET LANSING, MI 48909 (517) 374-2375
<b>WATER, STORM, AND SANITARY</b>	CITY OF OWOSSO Clayton Welmer, PE Director of Engineering 989-725-0551
<b>FIBER</b>	FRONTIER COMMUNICATIONS
<b>CABLE</b>	CHARTER COMMUNICATIONS

**SYMBOLS**

- ⊕ ABANDONED MANHOLE
- ⊕ PR/EX COMBINED MANHOLE
- ⊕ PR/EX STORM MANHOLE/CATCHBASIN
- ⊕ PR/EX STORM CATCH BASIN (CURB)
- ⊕ PR/EX FLARED END SECTION
- ⊕ PR/EX STORM DOWNSPOUT
- ⊕ PR/EX SANITARY MANHOLE
- ⊕ PR/EX SANITARY CLEANOUT
- ⊕ PR/EX WATER MANHOLE
- ⊕ PR/EX WATER VALVE
- ⊕ PR/EX WATER CURB STOP
- ⊕ PR/EX WATER SPRINKLER
- ⊕ PR/EX MONITORING WELL
- ⊕ PR/EX FIRE HYDRANT
- ⊕ PR/EX UTILITY RISER
- ⊕ PR/EX COMMUNICATIONS MANHOLE
- ⊕ PR/EX GAS VALVE
- ⊕ PR/EX GAS METER
- ⊕ PR/EX ELECTRIC MANHOLE
- ⊕ PR/EX ELECTRIC POWER POLE
- ⊕ PR/EX ELECTRIC POWER POLE GUY WIRE
- ⊕ PR/EX ELECTRIC TRANSFORMER
- ⊕ UTILITY HANDHOLE
- ⊕ PR/EX LIGHT POLE
- ⊕ PR/EX POWER POLE WITH LIGHT FIXTURE
- ⊕ PR/EX FLOOD LIGHT
- ⊕ PR/EX DECIDUOUS TREE
- ⊕ PR/EX CONIFEROUS TREE
- ⊕ STUMP
- ⊕ PR/EX PARKING METER
- ⊕ PR/EX MAILBOX
- ⊕ PR/EX AC UNIT
- ⊕ PR/EX SIGN
- ⊕ PR/EX FLAG POLE
- ⊕ PR/EX BENCH
- ⊕ PR/EX BIKE RACK
- ⊕ PR/EX PARKING SPACE COUNT
- ⊕ PR/EX CONC BALLARD
- ⊕ TRAFFIC LIGHT
- ⊕ ITEM TO BE REMOVED
- ⊕ FOUND MONUMENTATION
- ⊕ SET CAPPED IRON ROD #
- ⊕ SECTION CORNER
- ⊕ SOIL BORING
- ⊕ BENCHMARK
- SOIL XXX SOIL CLASSIFICATION (NCRS)
- SURFACE DRAINAGE PATH DIRECTION

**LEGEND**

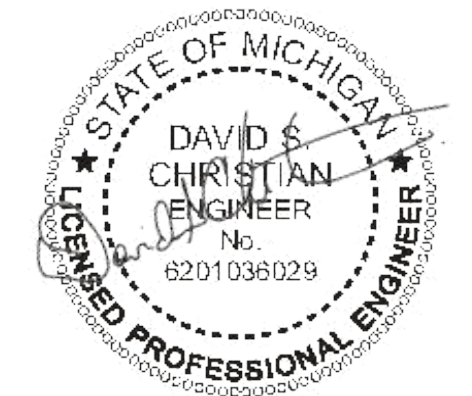
**ABBREVIATIONS**

- BC BACK OF CURB
- BIT BITUMINOUS
- BLD BUILDING
- BLK BULKHEAD
- BB BOTTOM OF BANK
- C CALCULATED
- CL CENTERLINE
- CB CATCH BASIN
- CO CLEAN OUT
- CMB COMBINED
- CONC CONCRETE
- ELEC ELECTRIC
- EL ELEVATION
- ENC ENCROACHMENT
- EOM EDGE OF METAL
- EX EXISTING
- FC FACE OF CURB
- FS FINISH SURFACE
- FES FLARED END SECTION
- FL FLOW LINE
- FOIR FOUND CAPPED IRON ROD
- GAS GAS LINE
- LF LINEAR FEET
- LS LANDSCAPE
- MH MANHOLE
- MON MONUMENT
- NO NUMBER
- OC ON CENTER
- OS OFFSET
- PL PROPERTY LINE
- PR PROPOSED
- (R) RECORDED
- POB POINT OF BEGINNING
- POL POINT ON LINE
- R.O.W. RIGHT-OF-WAY
- SAN SANITARY
- SF SQUARE FEET
- STM STORM
- TB TOP OF BANK
- TC TOP OF CURB
- TR TOP OF RETAINING WALL
- TW TOP OF WALK
- TYP TYPICAL
- WTR WATER

**LINE TYPES**

- PR/EX CURB AND GUTTER
- PR/EX MAJOR CONTOUR
- PR/EX MINOR CONTOUR
- PR/EX STORM SEWER
- PR/EX SANITARY SEWER
- PR/EX UNDERGROUND ELECTRIC LINE
- PR/EX OVERHEAD ELECTRIC LINE
- PR/EX GAS LINE
- PR/EX WATER LINE
- PR/EX COMMUNICATION LINE
- PR/EX STEAM LINE
- PR/EX TREE LINE
- PR/EX FENCE
- RIGHT-OF-WAY
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- HISTORICAL PROPERTY LINE
- EASEMENT
- SETBACK
- SECTION LINE
- SILT FENCE
- DISTURBANCE LIMITS
- RUNOFF AREA
- SOIL TYPE CONTOURS (NCRS)
- CURB REMOVAL
- CONCRETE REMOVAL
- BITUMINOUS PAVEMENT REMOVAL
- CONCRETE HATCHING
- BITUMINOUS PAVEMENT HATCHING
- STONE LANDSCAPE HATCHING
- MULCHED LANDSCAPE HATCHING

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH ACT 240, PA OF 1937 AS AMENDED.



David S. Christian  
LICENSE NO. 6201036029  
1210 N. CEDAR ST, SUITE B  
LANSING, MI 48906  
(517) 852-7866  
03-28-2024 DATE



Sheet List Table	
Sheet Number	Sheet Title
1	CIVIL - COVER
2	CIVIL - DEMOLITION
3	CIVIL - LAYOUT
4	CIVIL - GRADING
5	CIVIL - UTILITIES
6	CIVIL - SANITARY PROFILES
7	CIVIL - STORM PROFILES
8	CIVIL - ROOF DRAIN PROFILES 1
9	CIVIL - ROOF DRAIN PROFILES 2
10	CIVIL - LANDSCAPE PLAN
11	CIVIL - DETAILS
12	CIVIL - SESC PLAN
13	CIVIL - SESC NOTES
14	CIVIL - LIGHTING

**REVISIONS**



1210 N. CEDAR ST, SUITE B  
LANSING, MICHIGAN 48906  
PH: (517) 853-7866

**WASHINGTON PARK**

**CIVIL - COVER**

PLANS PREPARED FOR:  
VENTURE, INC.  
196 CESAR E CHAVEZ AVENUE  
PONTIAC, MI 48342  
(517) 256-0286

SCALE:	DRAWN BY: AJS	REVIEWED BY: DSC
DATE: 03-22-2024		SHEET: 1 OF 14





BM 1-745.97' SPIKE IN UTILITY POLE

W. WESLEY DRIVE  
66' R.O.W.

PROPERTY ADDRESS:  
207 W WESLEY DR  
OWOSSO, MI, 48867  
OWNER ADDRESS:  
RHEAUME PRESTON J  
207 W WESLEY DR  
OWOSSO, MI 48867

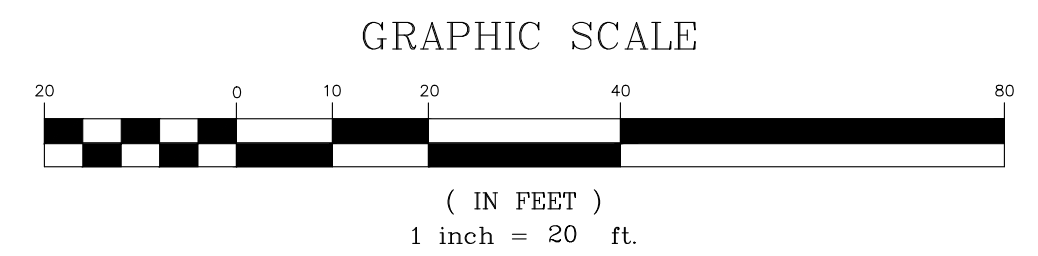
PROPERTY ADDRESS:  
N WASHINGTON ST  
OWOSSO, MI, 48867  
OWNER ADDRESS:  
SHIAWASSEE COUNTY LAND BANK AUTH  
201 N SHIAWASSEE ST  
CORUNNA, MI 48817

PROPERTY ADDRESS:  
1406 N WATER ST  
OWOSSO, MI, 48867  
OWNER ADDRESS:  
KEIT NICHOLAS B & KATHLEEN M  
NICHOLAS B & KATHLEEN M KEIT TRUST  
1406 N WATER STREET  
OWOSSO, MI 48867

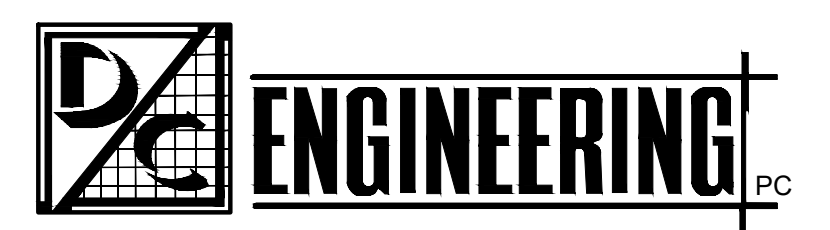
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114 W NORTH ST  
OWOSSO, MI, 48867  
OWNER ADDRESS:  
SHIAWASSEE RESD  
1025 N SHIAWASSEE ST  
CORUNNA, MI 48817-1151

PROPERTY ADDRESS:  
114 W NORTH ST  
OWOSSO, MI, 48867  
OWNER ADDRESS:  
SHIAWASSEE RESD  
1025 N SHIAWASSEE ST  
CORUNNA, MI 48817-1151

- SUPPLEMENTAL LEGEND:**
- DISTURBANCE LIMITS
  - CONCRETE REMOVAL
  - STRIP AND STOCKPILE TOPSOIL
  - ITEM TO BE REMOVED



REVISIONS	



1210 N. CEDAR ST. SUITE B  
LANSING, MICHIGAN 48906  
PH: (517) 853-7866

**WASHINGTON PARK**  
CIVIL - DEMOLITION

PLANS PREPARED FOR:  
VENTURE, INC.  
196 CESAR E CHAVEZ AVENUE  
PONTIAC, MI 48342  
(517) 296-0286

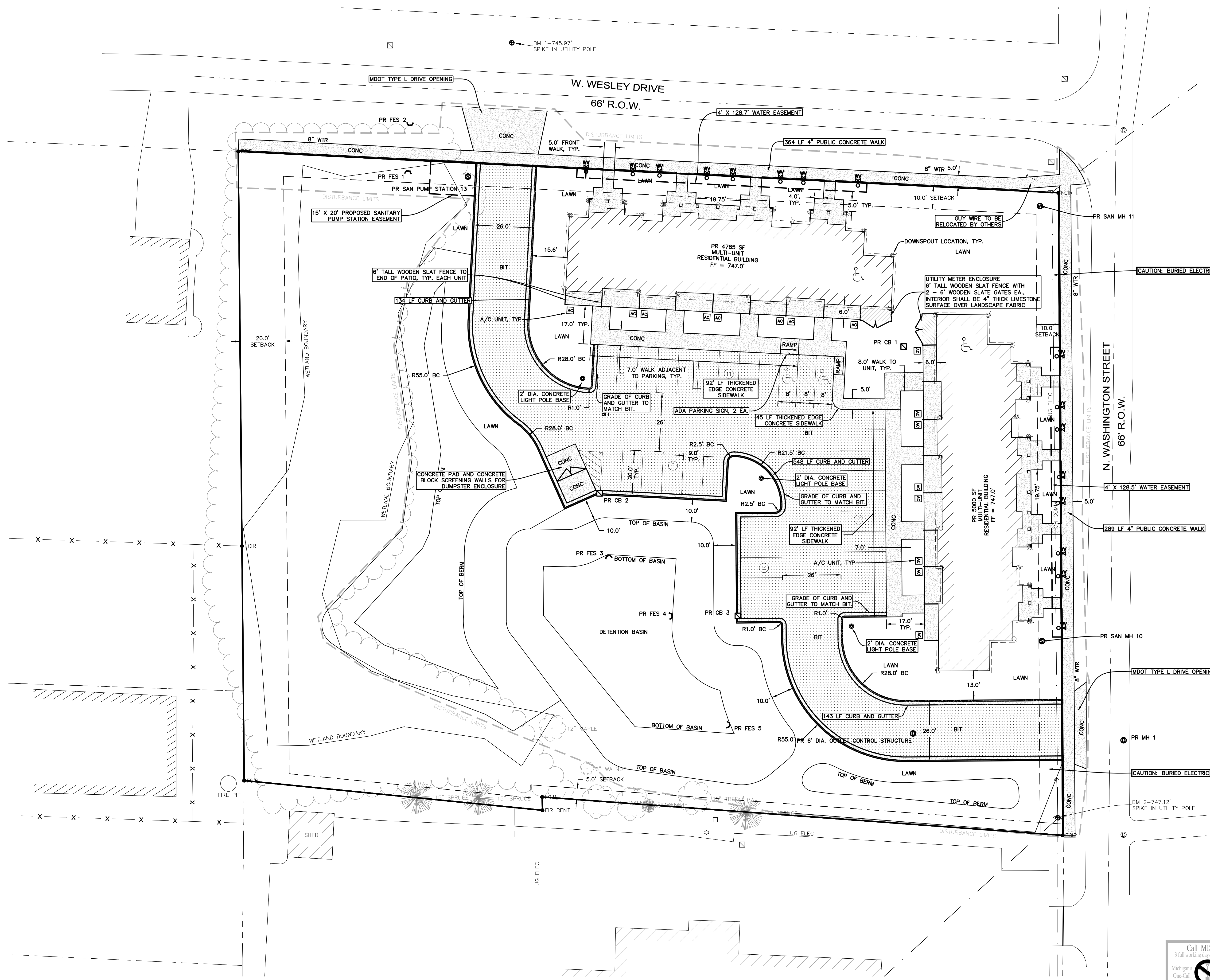
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DATE: 03-22-2024		SHEET: 2 OF 14

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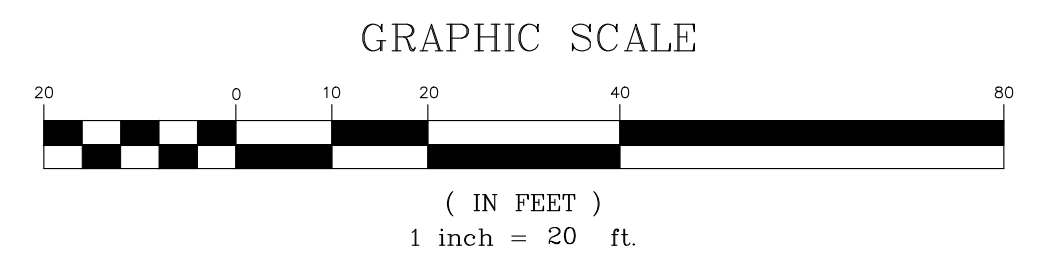
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VENTURE - WASHINGTON PARK

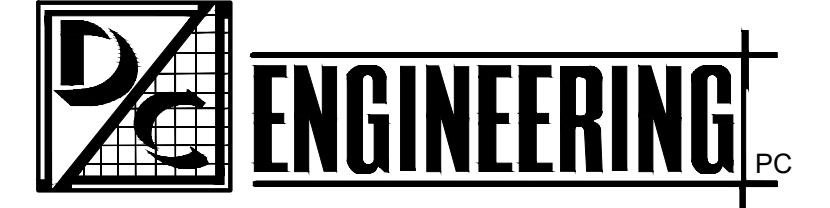
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- LAYOUT NOTES:**
- GENERAL:**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS.
  - DISCREPANCIES BETWEEN CITY OF LANSING/LANSING BOARD WATER AND LIGHT CURRENT STANDARDS, DETAILS, AND SPECIFICATION AND THESE CONSTRUCTION DOCUMENTS SHALL BE RESOLVED IN FAVOR OF CITY OF LANSING/LANSING BOARD OF WATER AND LIGHT.
  - SANITARY AND STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF LANSING STANDARDS. THE CONTRACTOR SHALL OBTAIN A CITY OF LANSING SEWER PERMIT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN CITY OF LANSING SIDEWALK/DRIVEWAY PERMIT PRIOR TO CONSTRUCTION OF ANY SIDEWALK/DRIVEWAY/CURB AND GUTTER WITHIN THE PUBLIC RIGHT-OF-WAY.
  - CONTRACTOR SHALL OBTAIN CITY OF LANSING APPROVAL FOR ALL TRAFFIC CONTROL WITHIN THE ROAD RIGHT-OF-WAY.
  - THE CONTRACTOR SHALL OBTAIN CITY OF LANSING ROAD CUT PERMIT PRIOR TO CONSTRUCTION.
  - CONTRACTOR RESPONSIBLE FOR OBTAINING ALL PERMITS, INCLUDING FEES, PRIOR TO WORK.
- BITUMINOUS PAVEMENT:**
- PAVEMENTS SHALL BE STANDARD DUTY PAVEMENT SECTION, EXCEPT AS OTHERWISE SPECIFIED.
  - BITUMINOUS PAVEMENT SHALL BE MDOT MIXTURE 13A.
  - AGGREGATE BASE SHALL BE MDOT 21AA. AGGREGATE BASE SHALL BE COMPACTED TO 95% MAXIMUM DENSITY.
  - SUBBASE, IF NEEDED, SHALL BE MDOT TYPE II GRANULAR MATERIAL COMPACTED TO 95% MAXIMUM DENSITY.
  - PAVEMENTS SHALL BE CONSTRUCTED TO THE CROSS SECTION INDICATED IN THE PLANS.
- CONCRETE:**
- CONCRETE CURB AND GUTTER SHALL BE MDOT TYPE F4, EXCEPT AS OTHERWISE SPECIFIED.
  - CONCRETE SIDEWALKS SHALL BE 4" THICK, EXCEPT AS OTHERWISE SPECIFIED.
  - ALL CONCRETE SHALL BE MDOT TYPE P1.
  - PLACE 1/8" INCH EXPANSION JOINT AT ALL CONCRETE-TO-CONCRETE INTERFACE AND CONCRETE TO BUILDING INTERFACE.
  - SAND SUBBASE SHALL BE MDOT TYPE II.
- PAVEMENT MARKINGS:**
- PARKING LOT STRIPPING SHALL BE TWO COATS MDOT REGULAR DRY PAINT PLACED NO EARLIER THAN 14 DAYS AFTER PAVING.
  - STANDARD PARKING LOT SPACES SHALL BE WHITE.
  - ADA PARKING SPACES SHALL BE BLUE.
  - GORE STRIPPING SHALL BE AT A 45-DEGREE ANGLE TO THE PRIMARY LINE AND STRIPPED AT 34" CENTERS.
- RESTORATION:**
- LAWN-AREAS SHALL BE PREPARED WITH 3" TOPSOIL SURFACE, SEEDING, MULCHED, AND FERTILIZED. PRIOR TO PLACING TOPSOIL, THE UNDERLYING MATERIALS SHALL BE LOOSENED TO A DEPTH OF 4". SEED SHALL BE MDOT TYPE THM.
  - LANDSCAPE AREAS SHALL BE PREPARED WITH 4" TOPSOIL SURFACE AND SURFACE TREATMENT AS SPECIFIED ON THE DRAWING.



REVISIONS	



1210 N. CEDAR ST. SUITE B  
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**WASHINGTON PARK**

**CIVIL - LAYOUT**

PLANS PREPARED FOR:  
 VENTURE, INC.  
 186 CESAR E. CHAVEZ AVENUE  
 PONTIAC, MI 48342  
 (517) 256-0286

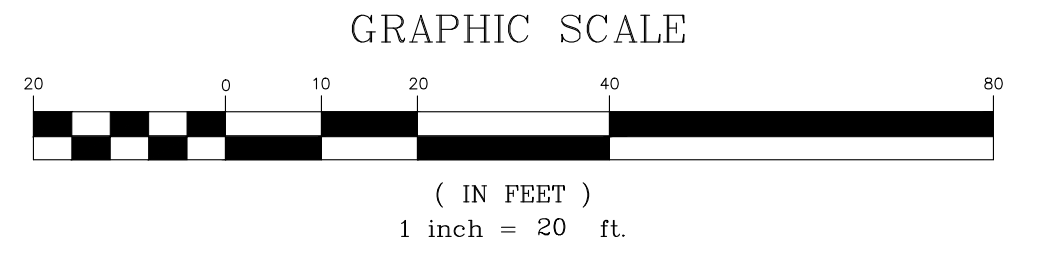
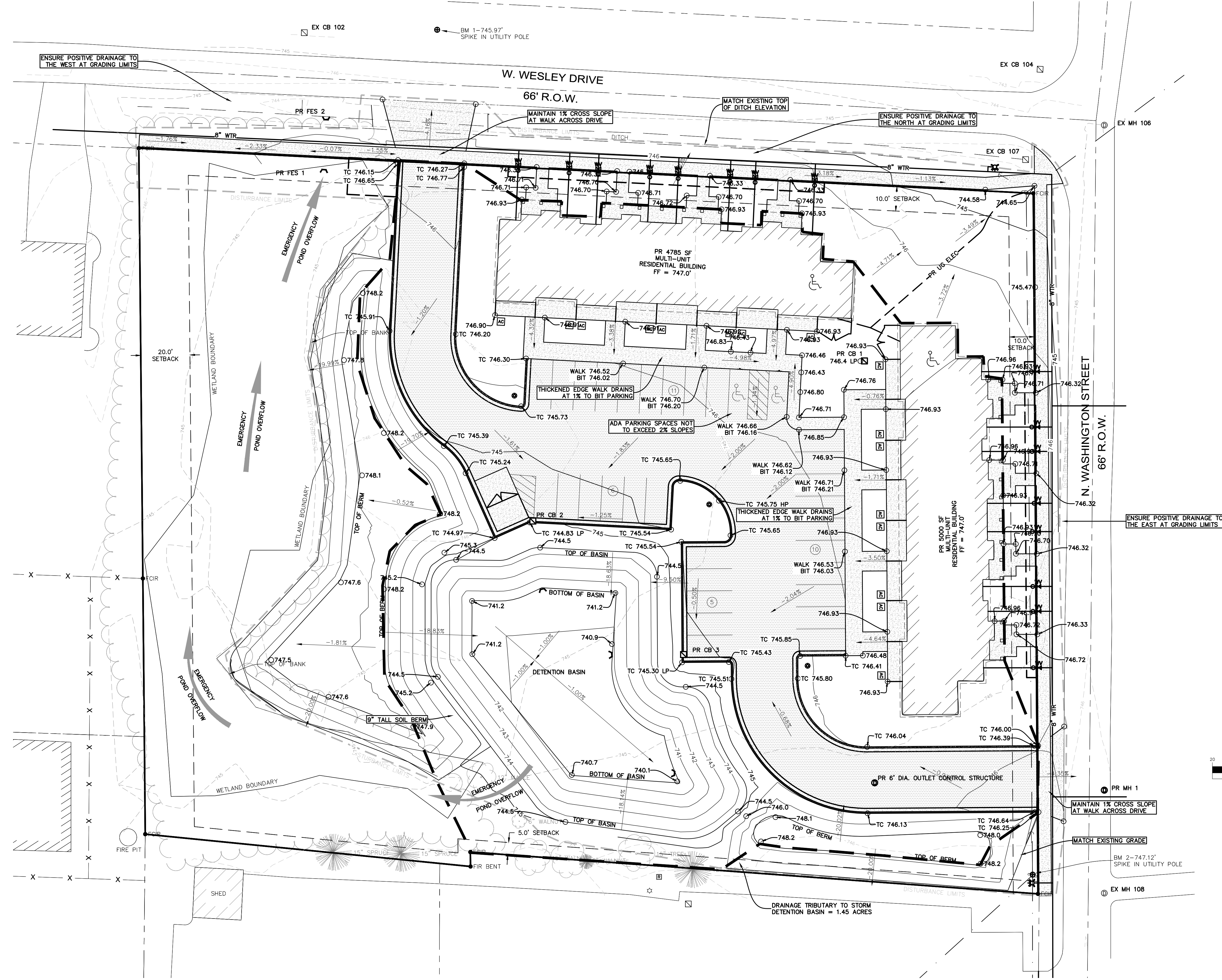
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DATE: 03-22-2024		SHEET: 3 OF 14

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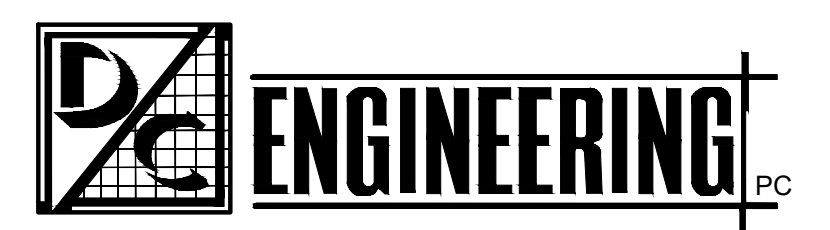
VENTURE - WASHINGTON PARK



**BENCHMARKS:**  
 BM1 - 745.97' - SPIKE IN UTILITY POLE, NORTH OF SITE ACROSS WESLEY DRIVE  
 BM2 - 747.12' - SPIKE IN UTILITY POLE, SOUTH EAST CORNER OF SITE.



REVISIONS	



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**WASHINGTON PARK**  
 CIVIL - GRADING

PLANS PREPARED FOR:  
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 PONTIAC, MI 48342  
 (517) 296-0286

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DATE: 03-22-2024		SHEET: 4 OF 14

PLOT DATE: 3/29/2024 1:44:57 PM. SAVED BY: JGAM. SAVED DATE: 3/29/2024 9:12:23 AM. DWG NAME: 4\_CIVIL - GRADING.DWG

VENTURE - WASHINGTON PARK



STORM STRUCTURE TABLE	
EX CB 102	RIM = 743.84' 12" W INV IN = 740.89' 12" S INV IN = 741.50' 12" E INV OUT = 740.88'
EX CB 107	RIM = 743.36' 12" NE INV IN = 739.78' 12" N INV OUT = 740.38'
EX MH 106	RIM = 744.98' 12" SW INV OUT = 739.68' 15" S INV OUT = 738.36' 18" N INV OUT = 737.99'
EX MH 108	RIM = 746.54' 15" N INV IN = 738.97' 15" S INV OUT = 738.99' 12" W INV OUT = 738.99'
PR 6' DIA. OUTLET CONTROL STRUCTURE	RIM = 745.71' 8" W INV IN = 739.78' 8" N INV IN = 739.87' 8" E INV OUT = 740.74'
PR CB 1	RIM = 746.36' 6" NW INV IN = 741.33' 6" N INV IN = 740.87' 8" S INV OUT = 740.74'
PR CB 2	RIM = 745.19' 8" S INV OUT = 741.31'
PR CB 3	RIM = 744.96' 8" W INV IN = 741.07'
PR MH 1	RIM = 746.17' 15" N INV IN = 738.89' 8" W INV IN = 739.37' 15" S INV OUT = 738.89'

FLARED END SECTION TABLE	
PR FES 1	12" N INV OUT = 745.23
PR FES 2	12" S INV IN = 744.12
PR FES 3	8" N INV IN = 741.20
PR FES 4	8" E INV IN = 740.95
PR FES 5	8" E INV OUT = 740.14

SANITARY STRUCTURE TABLE	
PR SAN MH 10	RIM = 746.58' 8" N INV OUT = 740.50'
PR SAN MH 11	RIM = 744.78' 8" S INV IN = 739.12' 8" W INV OUT = 739.02'
PR SAN PUMP STATION 13	RIM = 745.95' 8" E INV IN = 737.87'

**BENCHMARKS:**  
 BM1 - 745.97' - SPIKE IN UTILITY POLE, NORTH OF SITE ACROSS WESLEY DRIVE  
 BM2 - 747.12' - SPIKE IN UTILITY POLE, SOUTH EAST CORNER OF SITE.

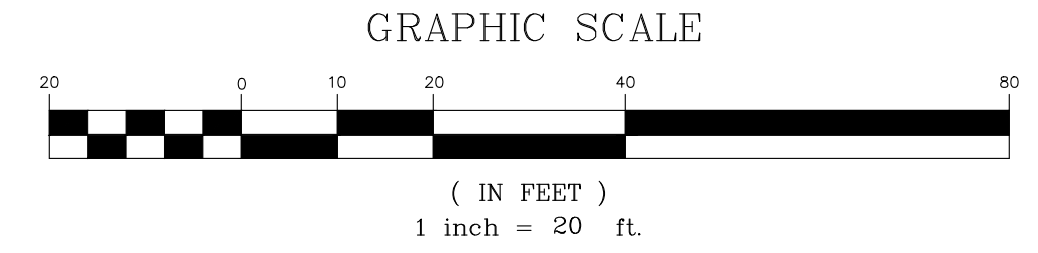
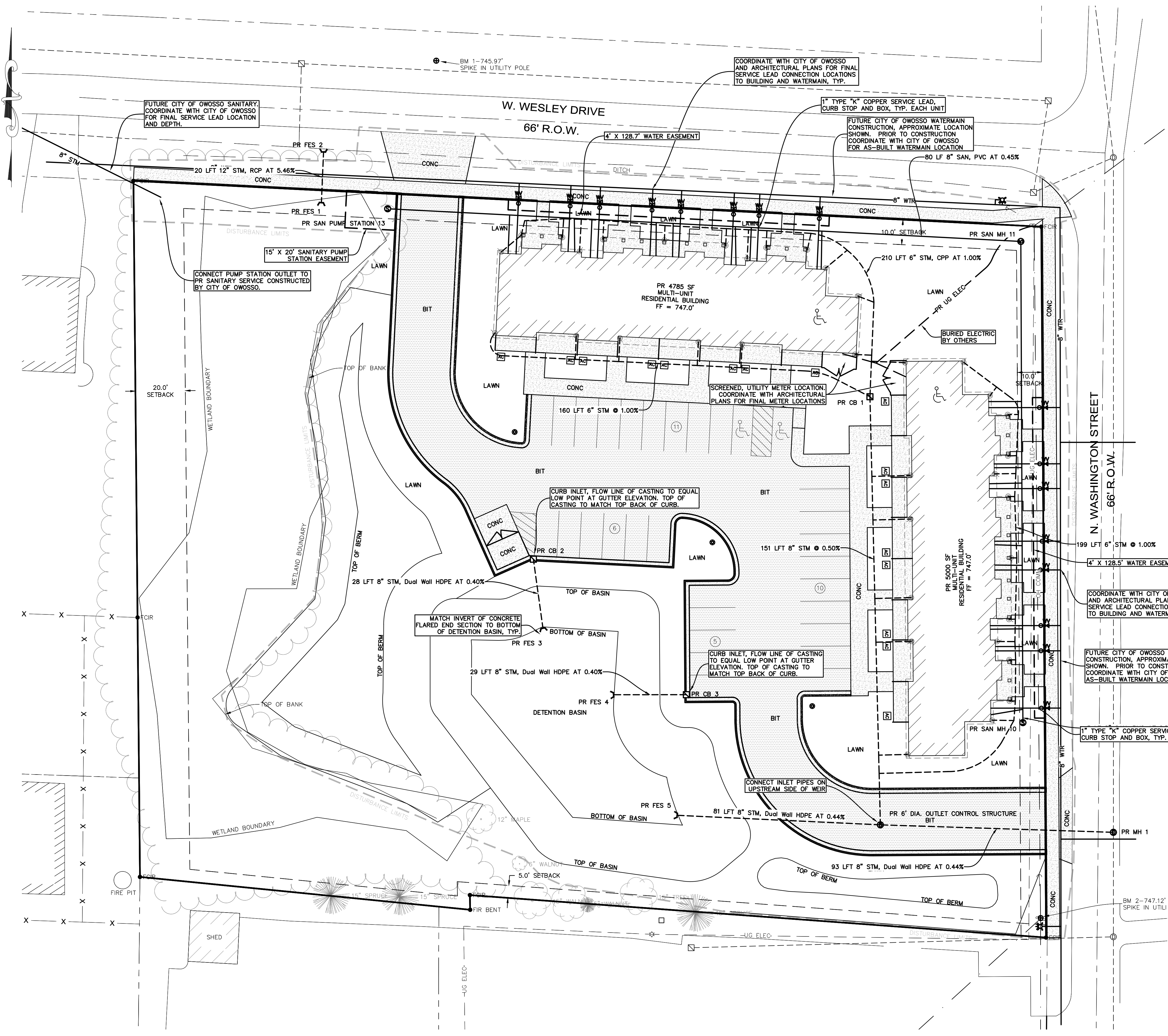
**NOTES:**

**STORM SEWER:**

- STORM SEWER ON-SITE SHALL BE PVC SDR 26, SCHEDULE 40, C76-IV, OR HDPE DUAL WALL N-12.
- STORM SEWER IN RIGHT-OF-WAY SHALL BE PVC SDR 26, SCHEDULE 40, OR C76-IV.
- MANHOLE CASTING SHALL BE EJIW 1040 WITH 8 HOLE COVER, CATCH BASIN CASTING IN CURB SHALL BE EJIW 7045, CATCH BASIN IN DITCHES SHALL BE EJIW 6508, CATCH BASIN IN PAVEMENT SHALL BE EJIW 1040 WITH TYPE M-1 FLAT GRATE.

**SANITARY SEWER:**

- SANITARY SEWER SHALL BE PVC SDR26.
- DEFLECTIONS IN LINE AND GRADE SHALL BE MADE USING MAXIMUM 22.5 DEGREE BENDS.
- CLEANOUTS SHALL BE CONSTRUCTED AT ALL 90 DEGREE BENDS AND AT MAXIMUM 90 FOOT SPACING.
- MANHOLE CASTING SHALL BE EJIW 1040 SOLID COVER.



REVISIONS	

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**WASHINGTON PARK**  
 CIVIL - UTILITIES  
 PLANS PREPARED FOR:  
 VENTURE, INC.  
 186 CESAR E. CHAVEZ AVENUE  
 PONTIAC, MI 48342  
 (517) 296-0286

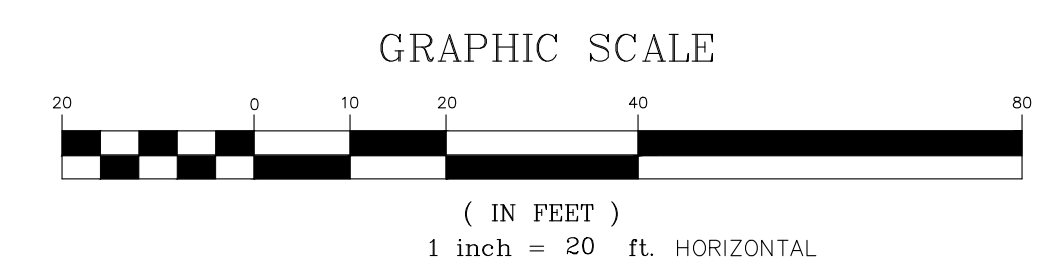
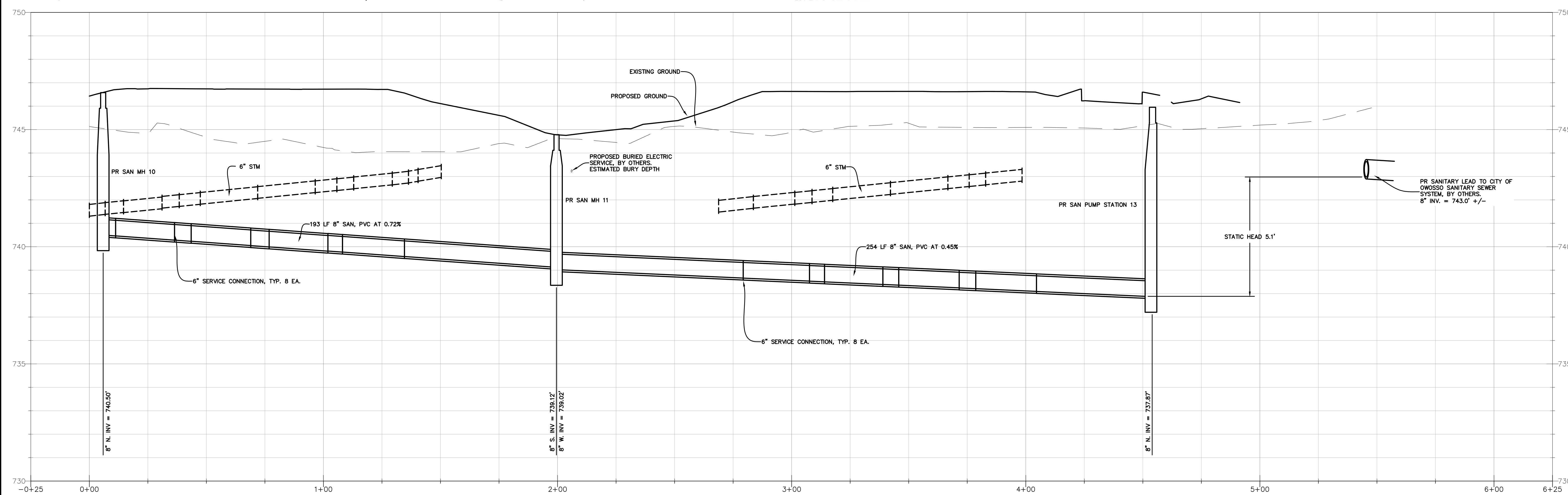
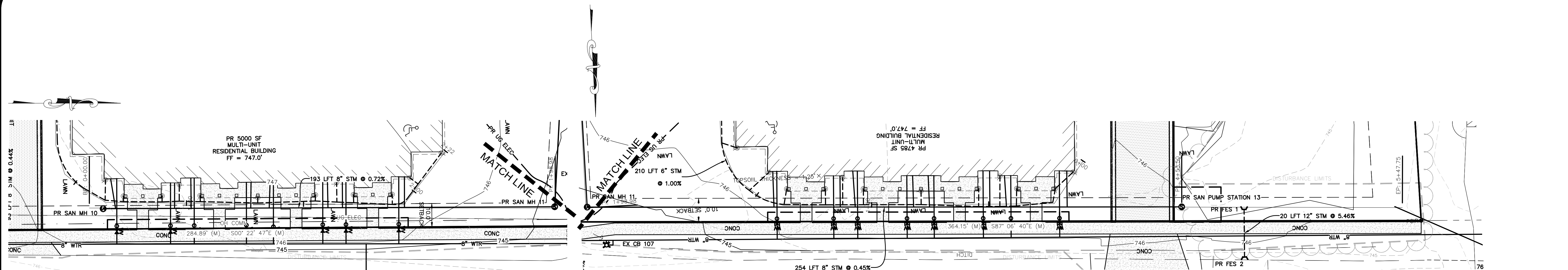
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 DRAWN BY: AJS  
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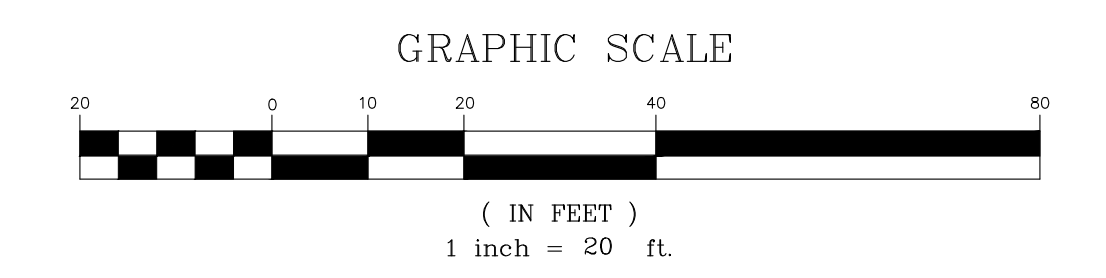
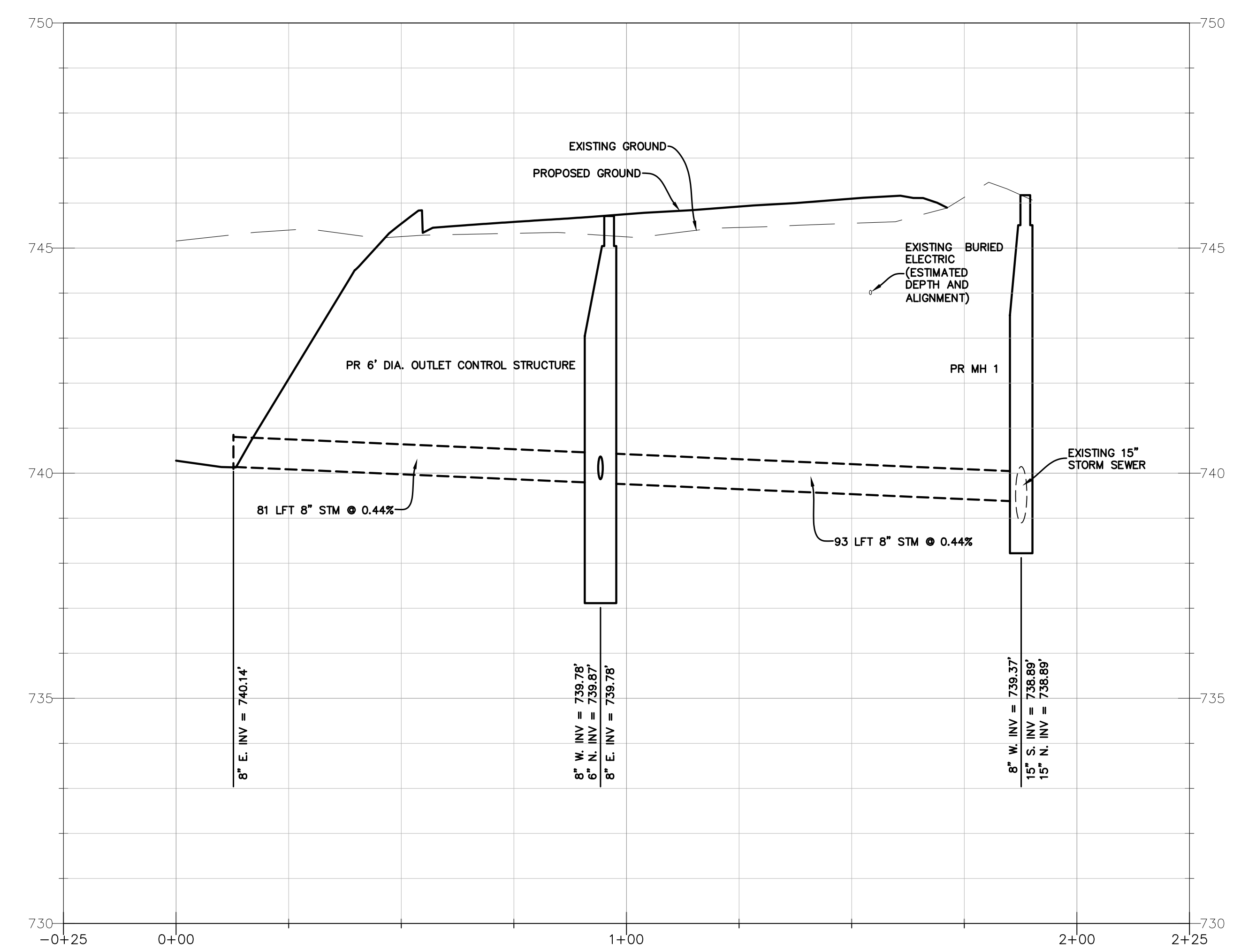
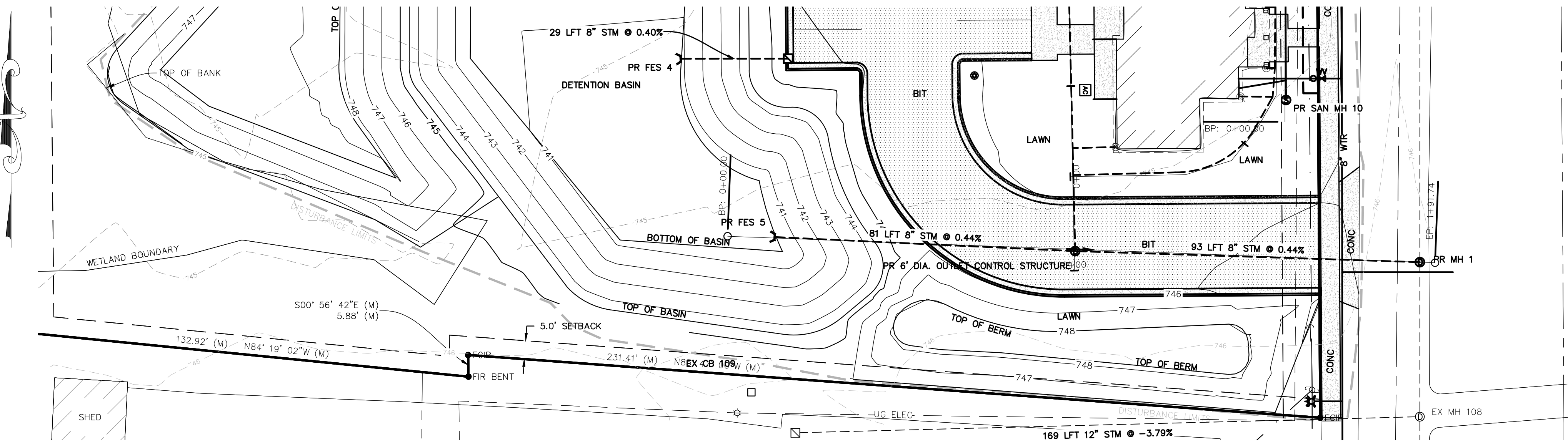
**WASHINGTON PARK  
 CIVIL - SANITARY PROFILES**  
 PLANS PREPARED FOR:  
 VENTURE, INC.  
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DATE: 03-22-2024		SHEET: 6 OF 14

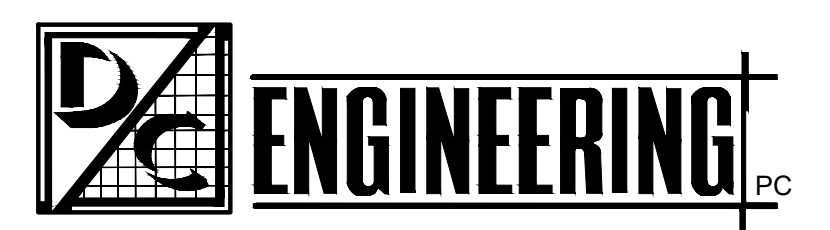
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NO.	DATE	DESCRIPTION



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**WASHINGTON PARK**  
**CIVIL - STORM PROFILES**

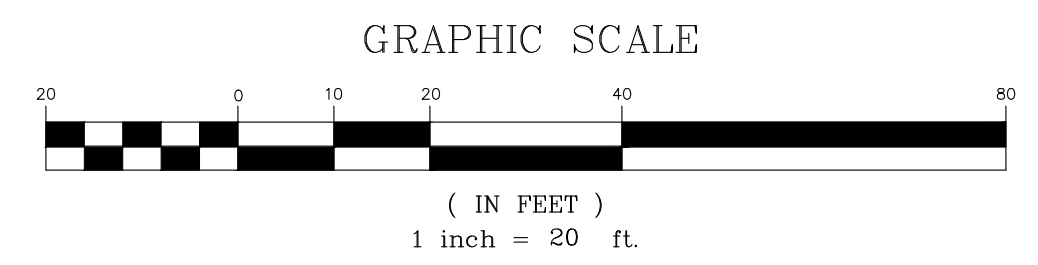
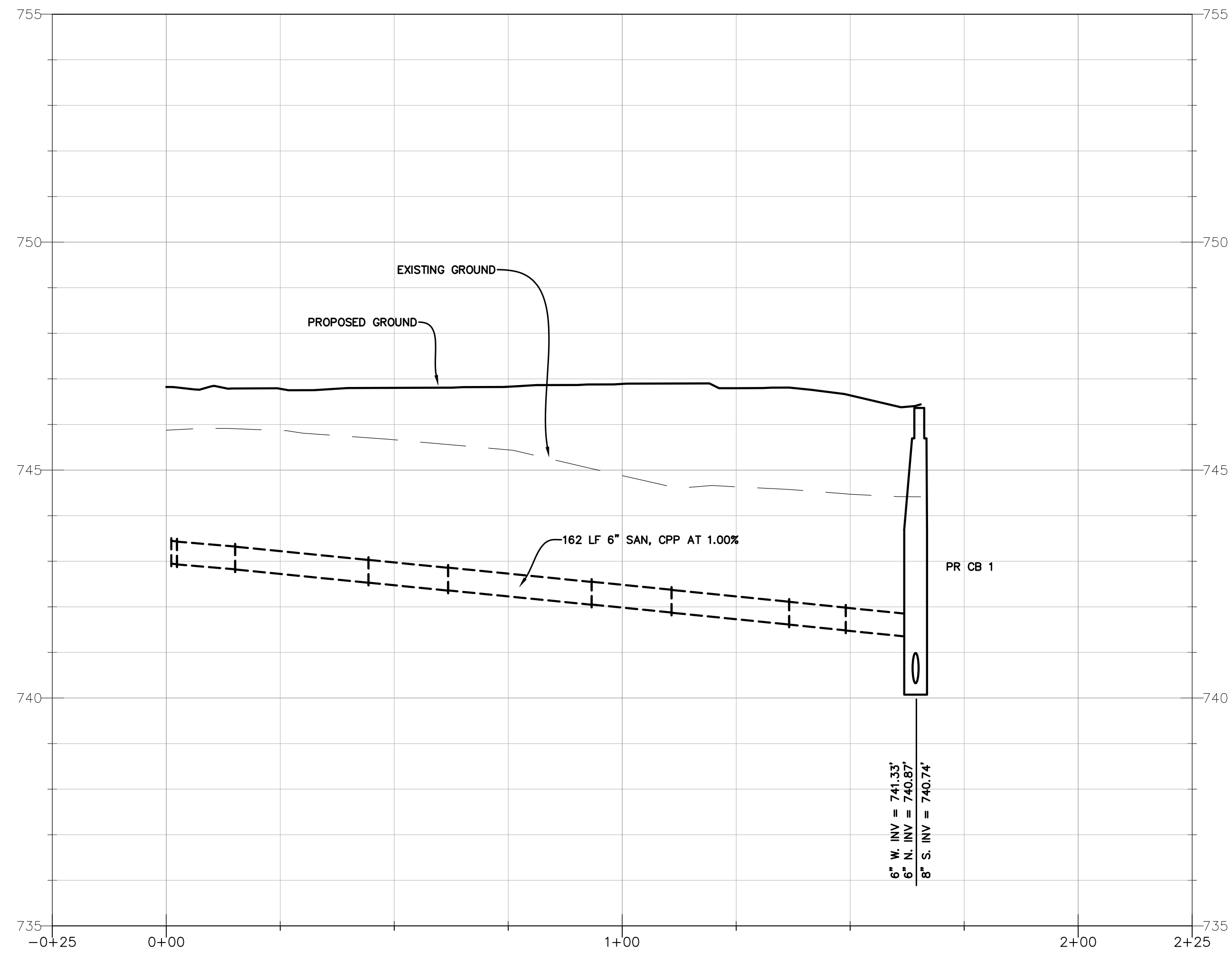
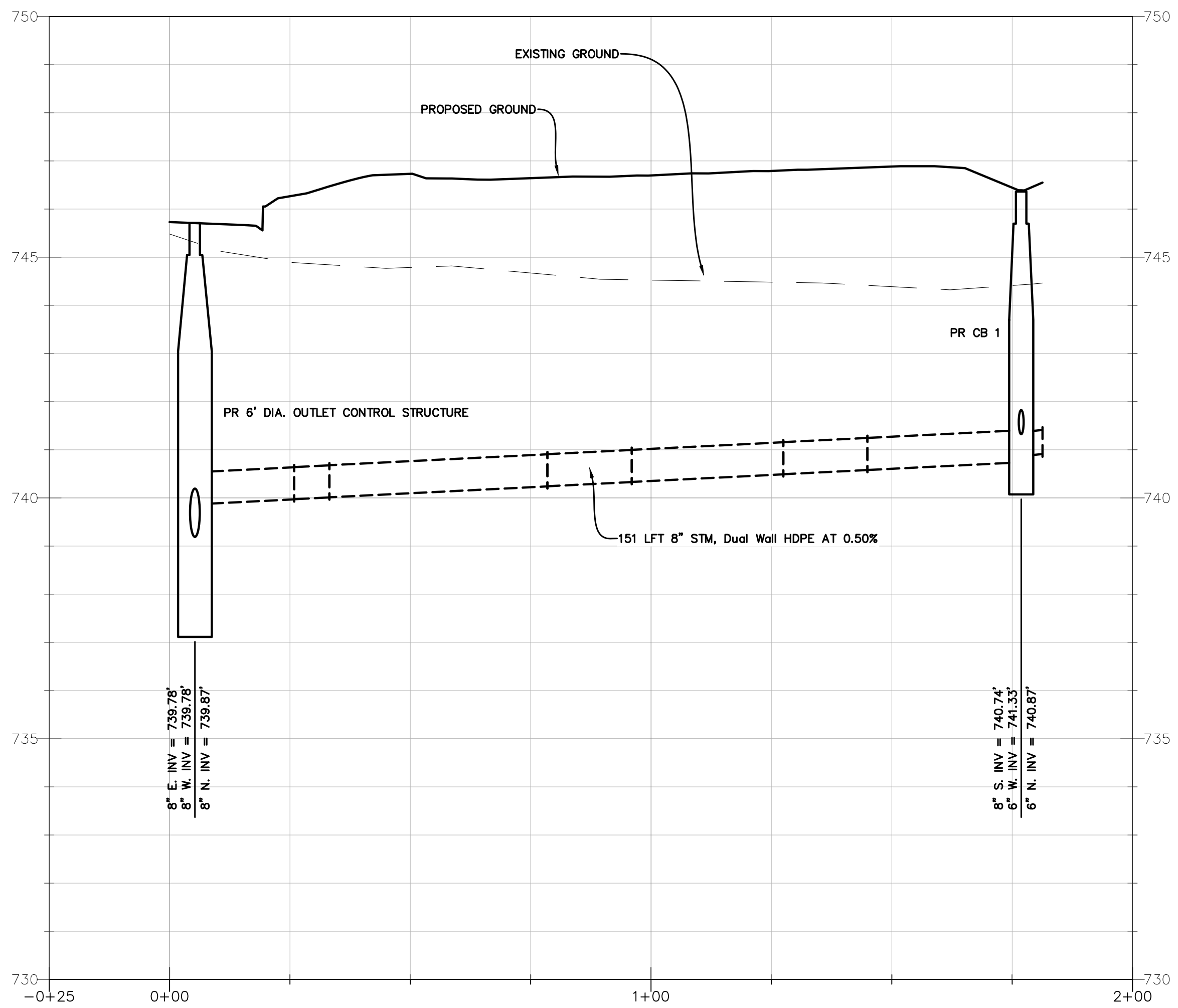
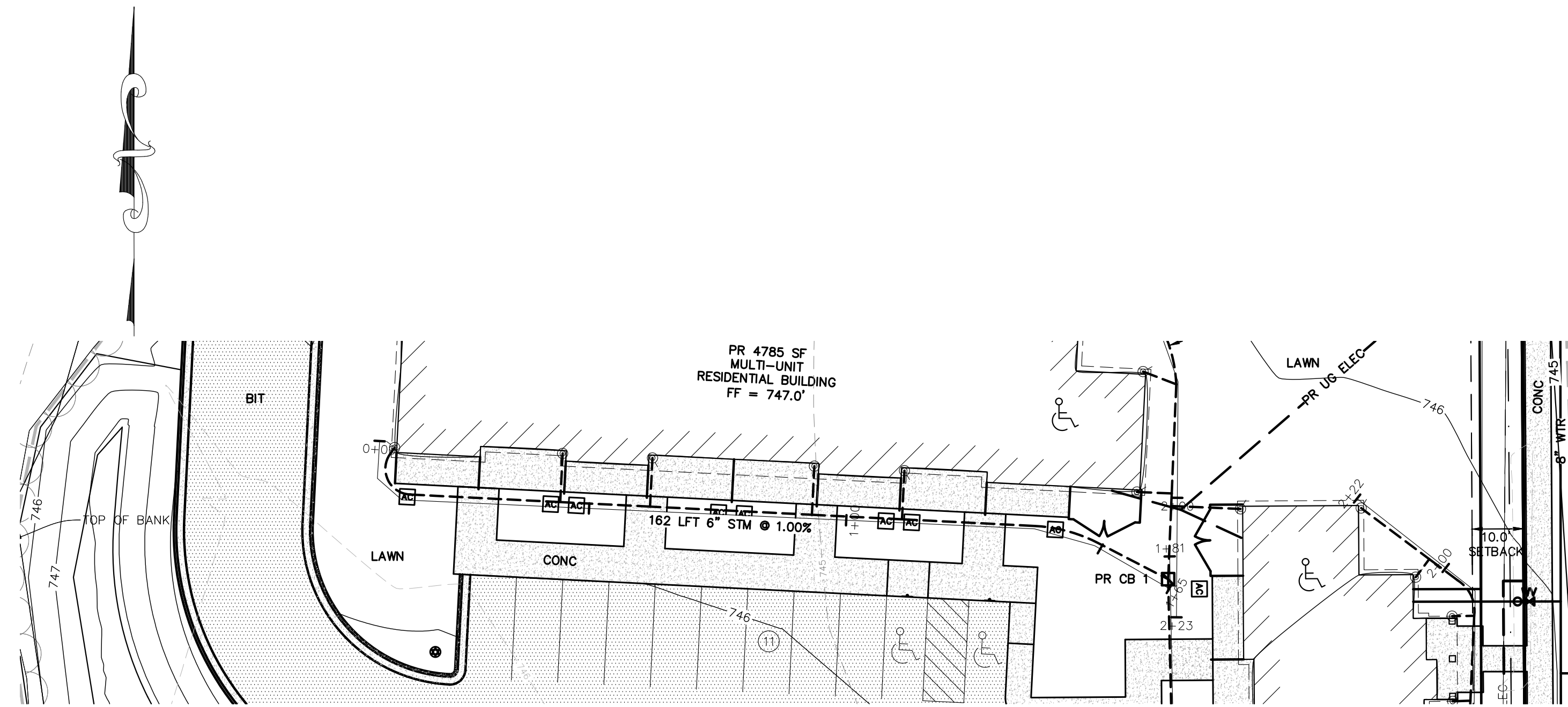
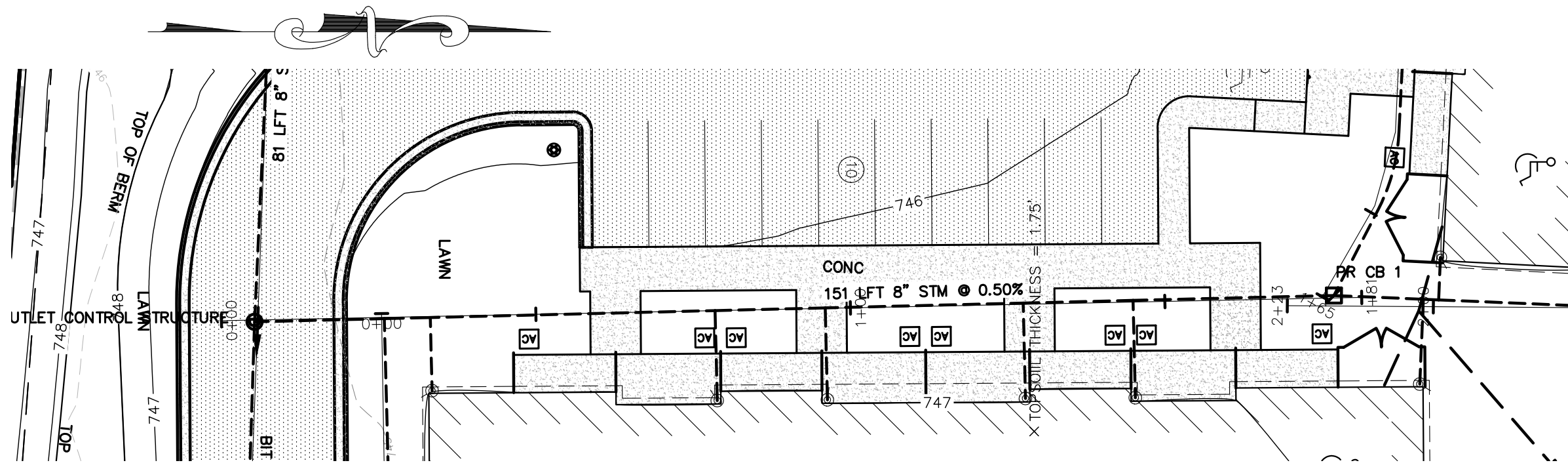
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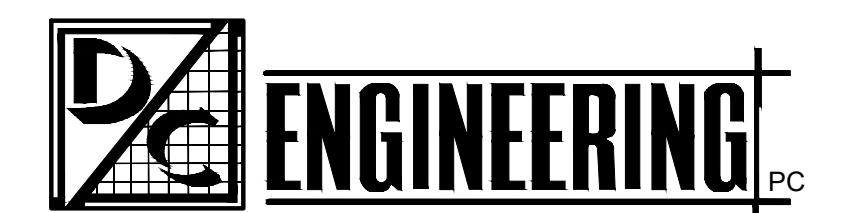
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REVISIONS



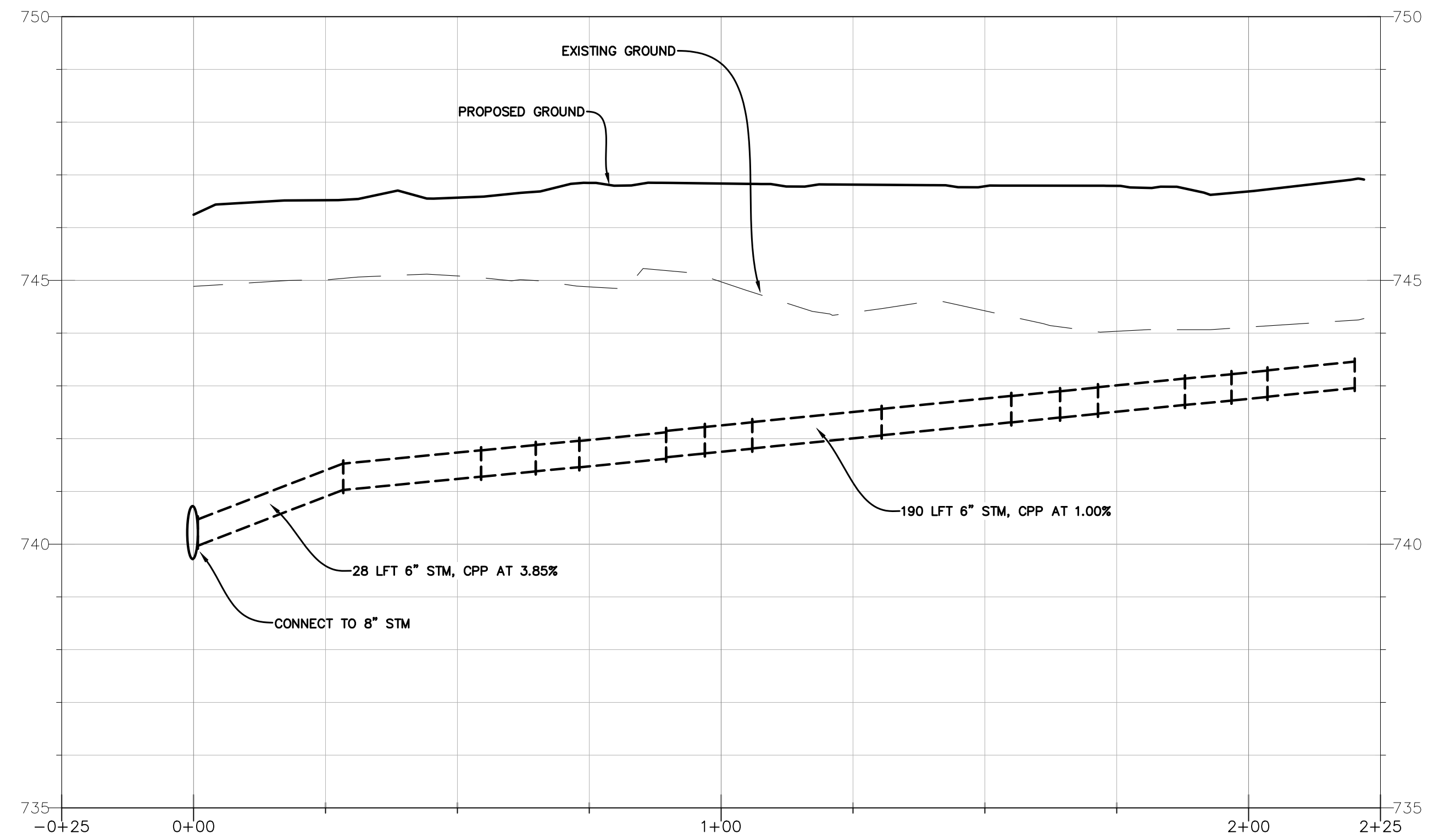
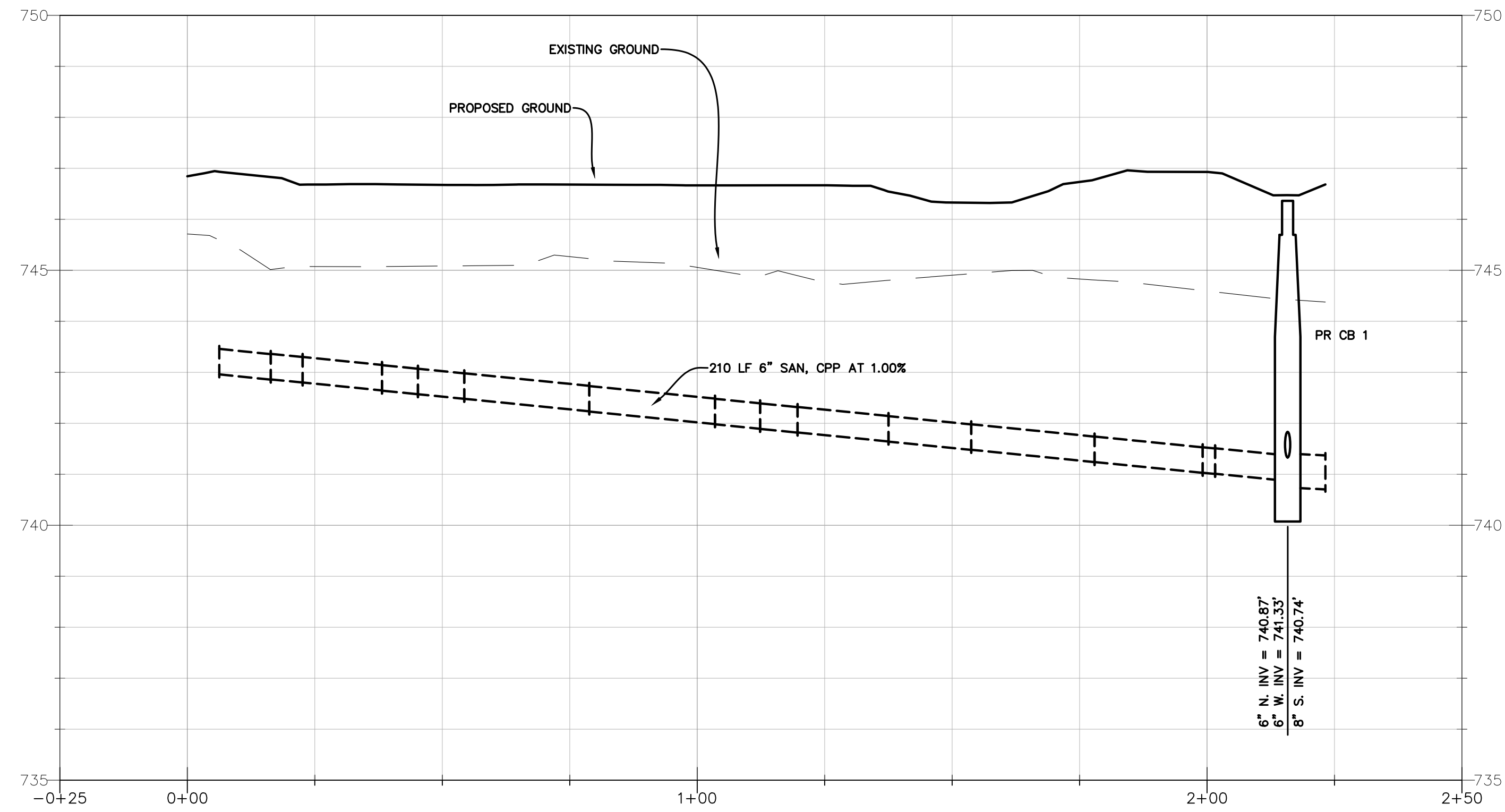
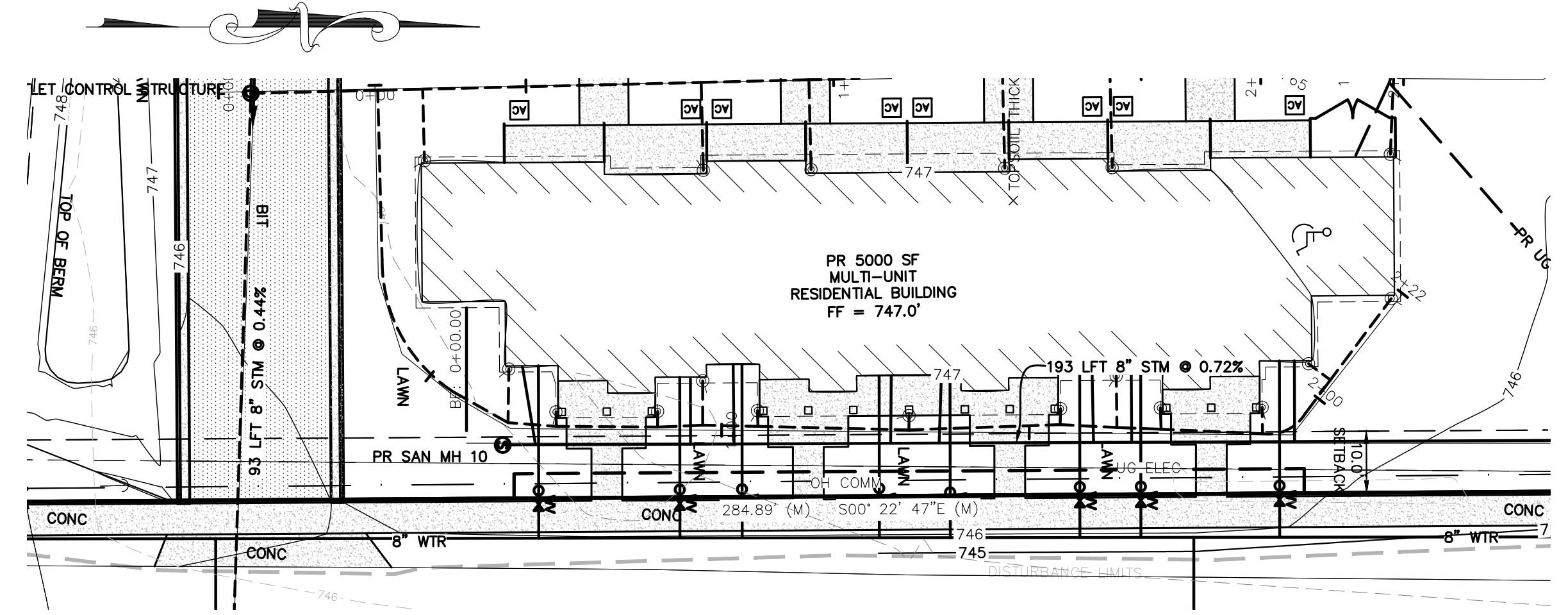
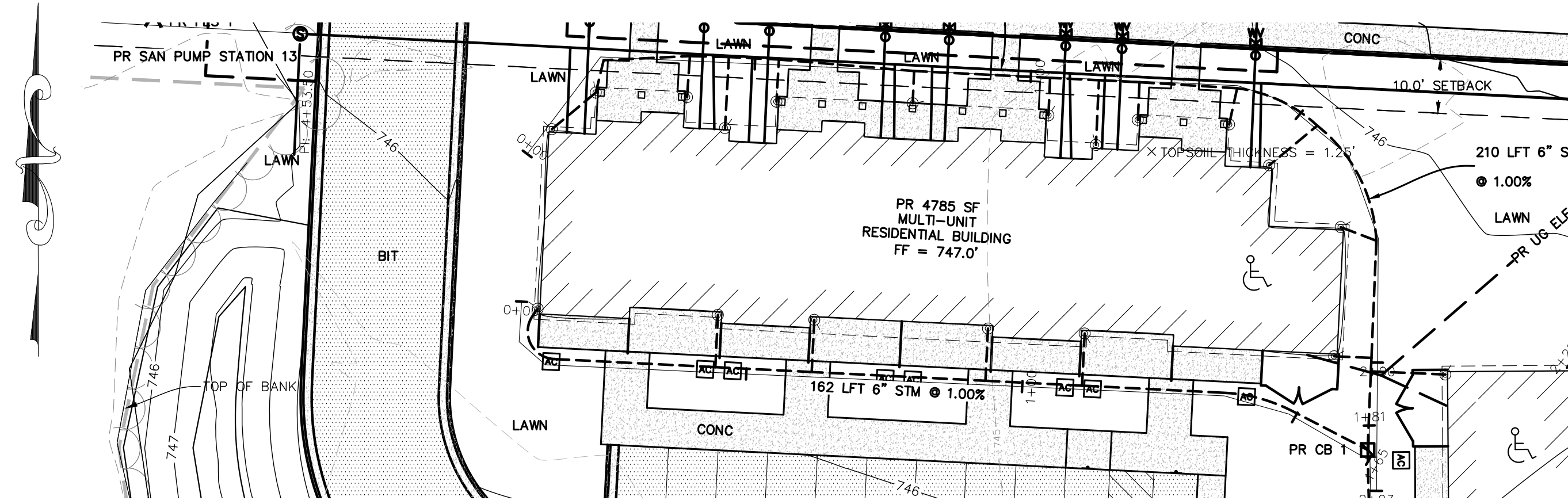
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LANSING, MICHIGAN 48906  
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CIVIL - ROOF DRAIN PROFILES 1

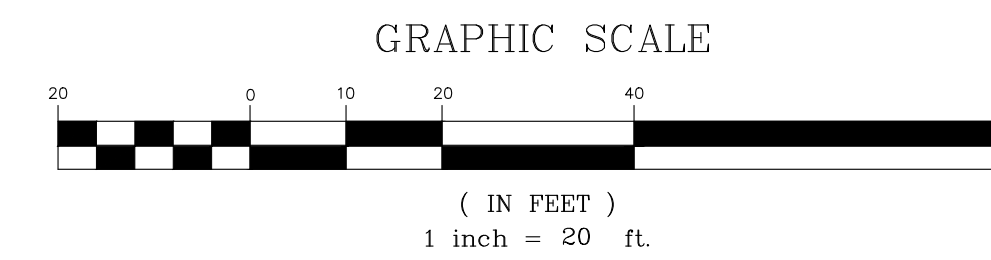
PLANS PREPARED FOR:  
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(517) 296-0286

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REVISIONS



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**WASHINGTON PARK**  
 CIVIL - ROOF DRAIN PROFILES 2

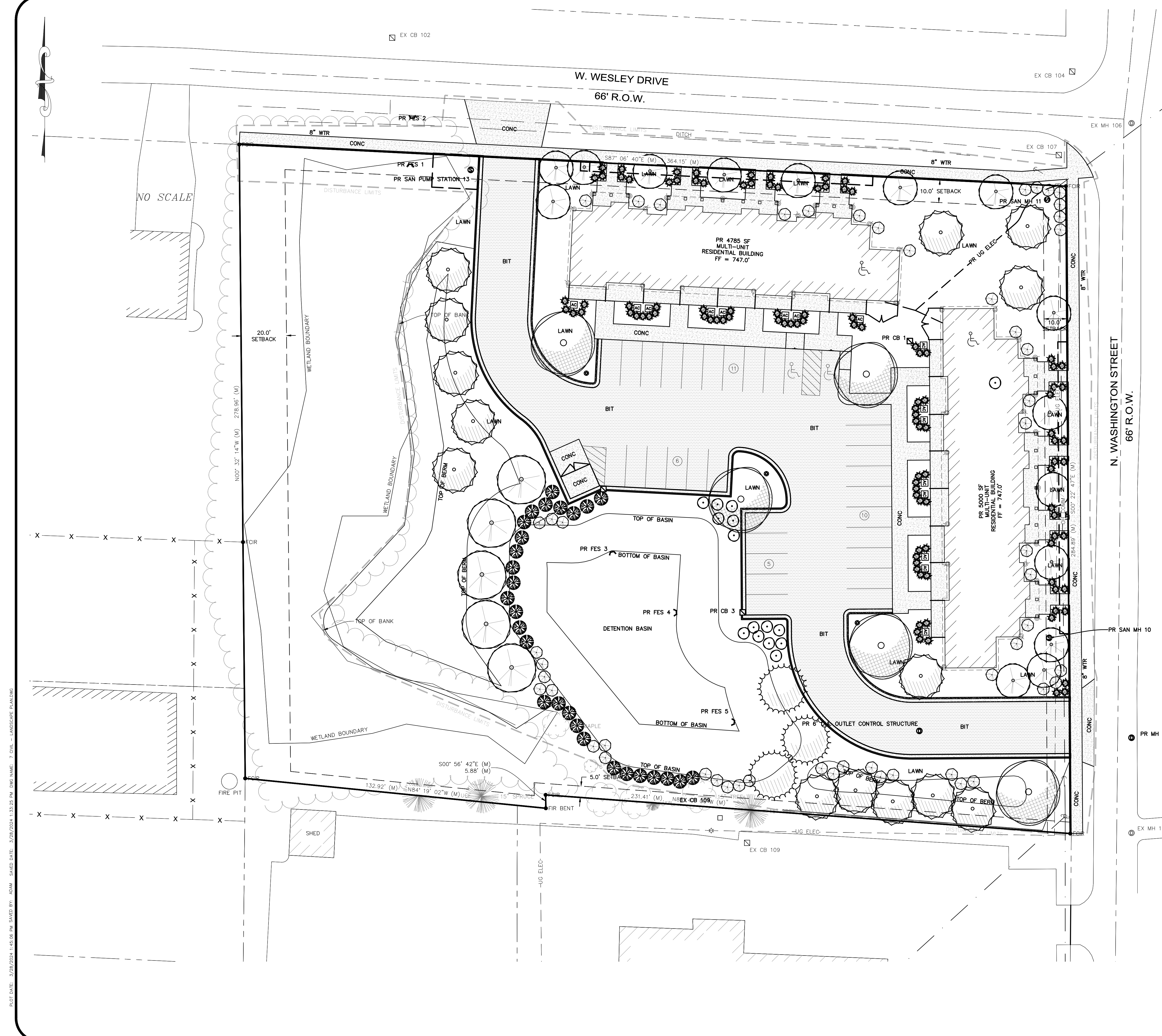
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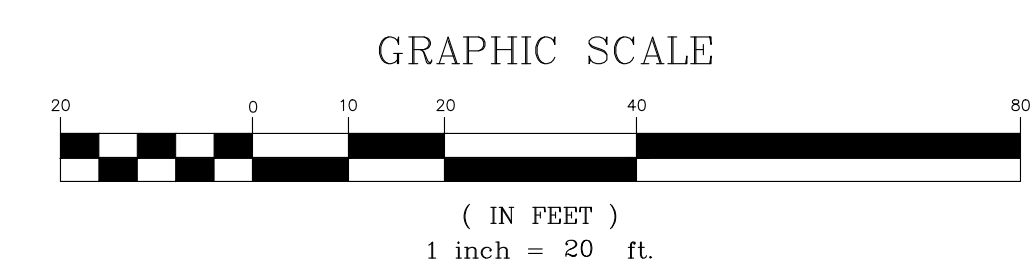




LANDSCAPE SCHEDULE

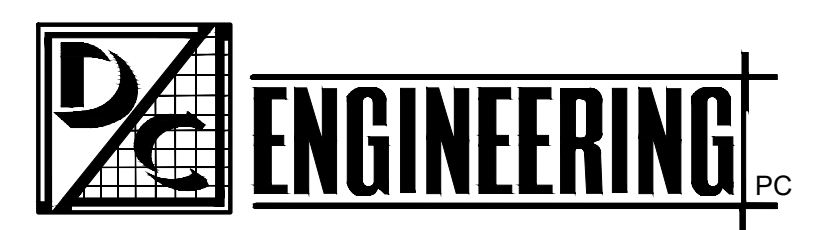
SYMBOL	BOTANICAL NAME	COMMON NAME	AMOUNT	SIZE
	ACER RUBRUM	RED MAPLE	5	2.5" CAL.
	METASEQUOIA GLYPTOSTOBOIDES	DAWN REDWOOD	5	2.5" CAL.
	PICEA ABIES	NORWAY SPRUCE	14	6' TALL
	PINUS STROBUS	EASTERN WHITE PINE	3	6' TALL
	HYDRANGEA ARBORESCENS	SMOOTH HYDRANGEA	46	7 GAL.
	MISCANTHUS SINENSIS 'PURPURASCENS'	FLAME GRASS	36	5 GAL.
	BUXUS SINICA VAR. 'INSULARIS'	GREEN VELVET BOXWOOD	109	7 GAL.
	ROSA RADRAZZ	KNOCKOUT ROSE	14	7 GAL.

NOTES:  
 1. NO IRRIGATION IS PLANNED FOR DEVELOPMENT.



REVISIONS

NO.	DATE	DESCRIPTION



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 CIVIL - LANDSCAPE PLAN

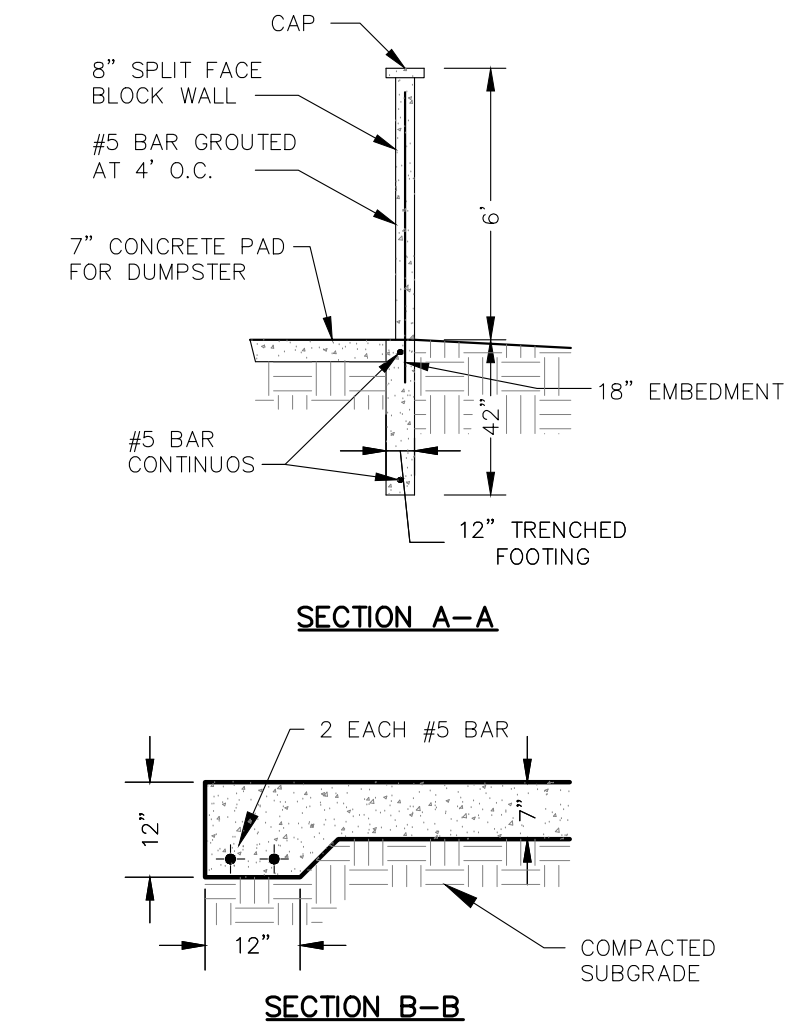
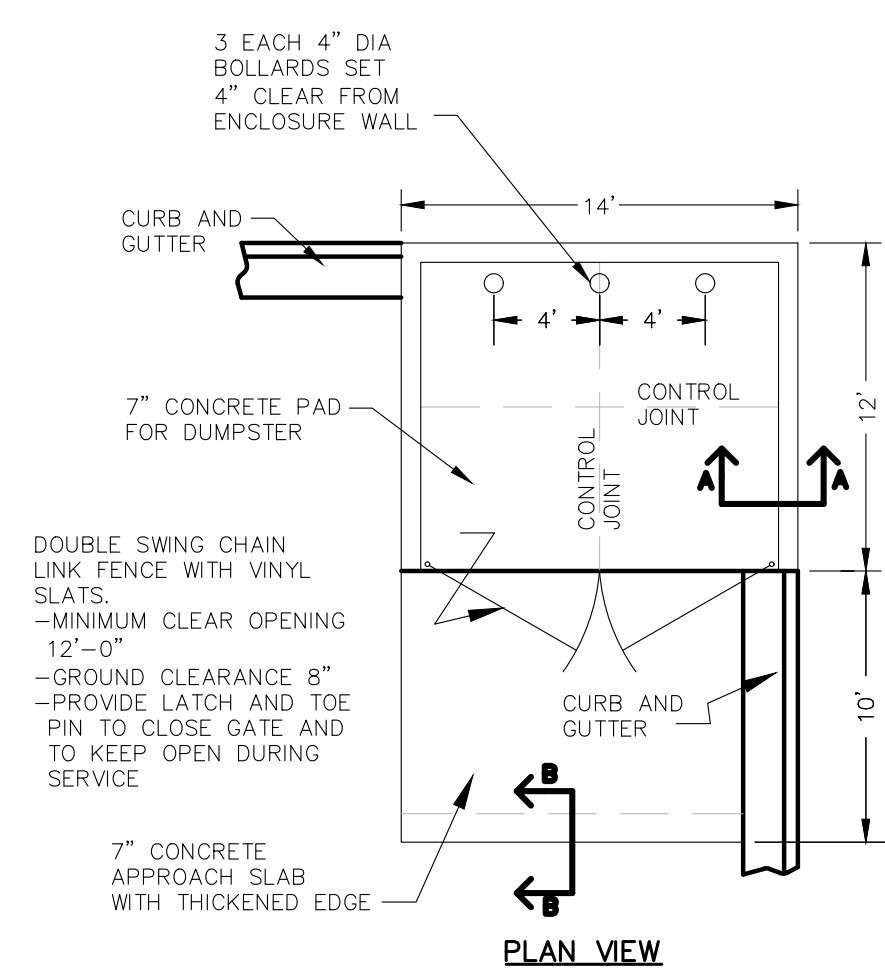
PLANS PREPARED FOR:  
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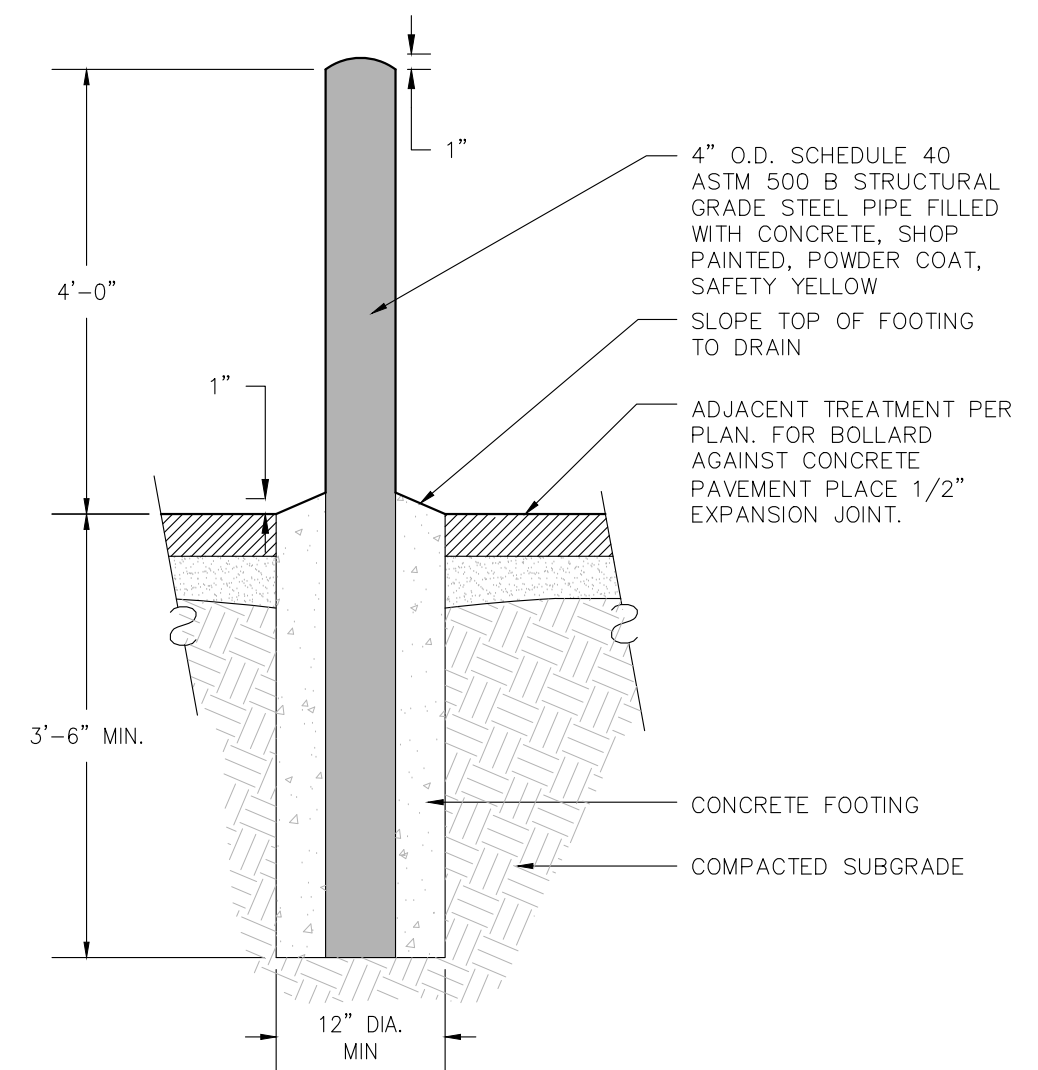
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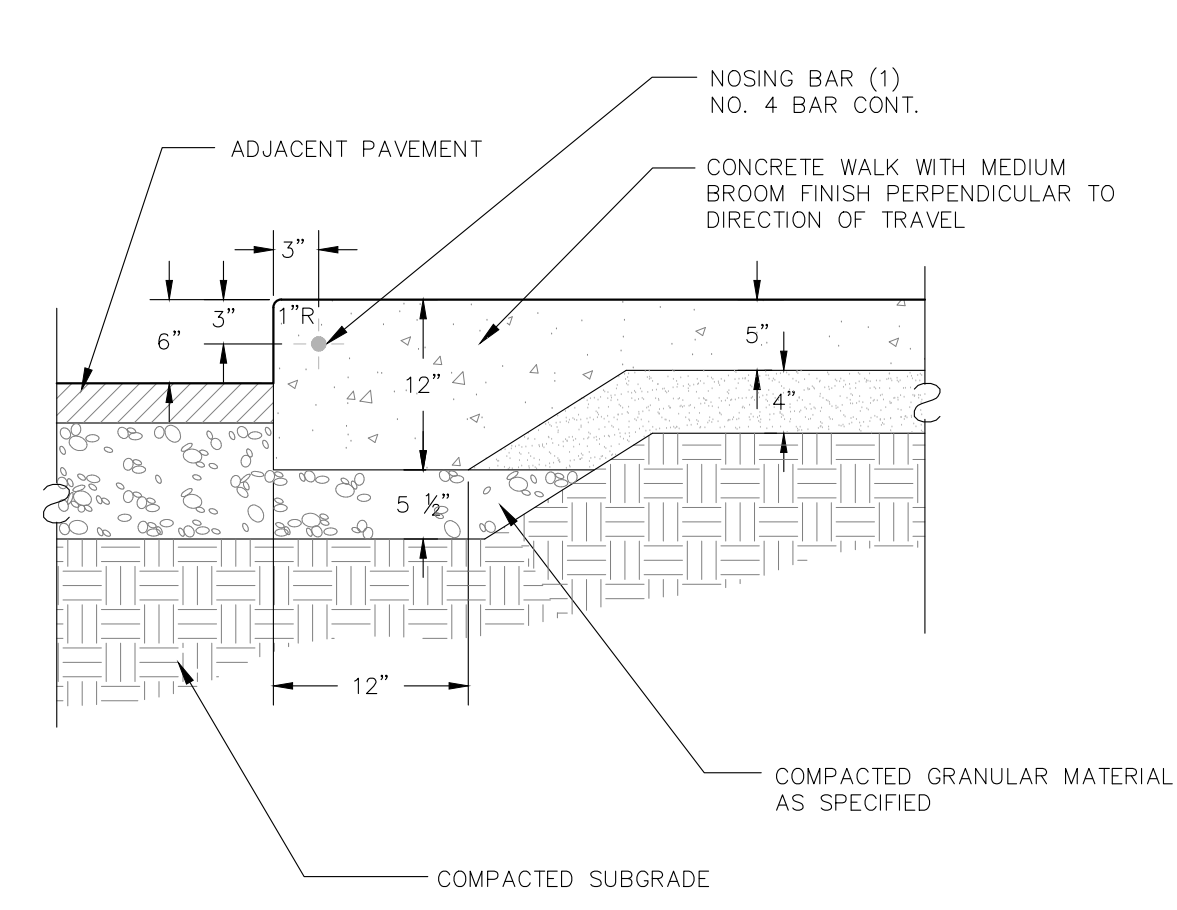
VENTURE - WASHINGTON PARK



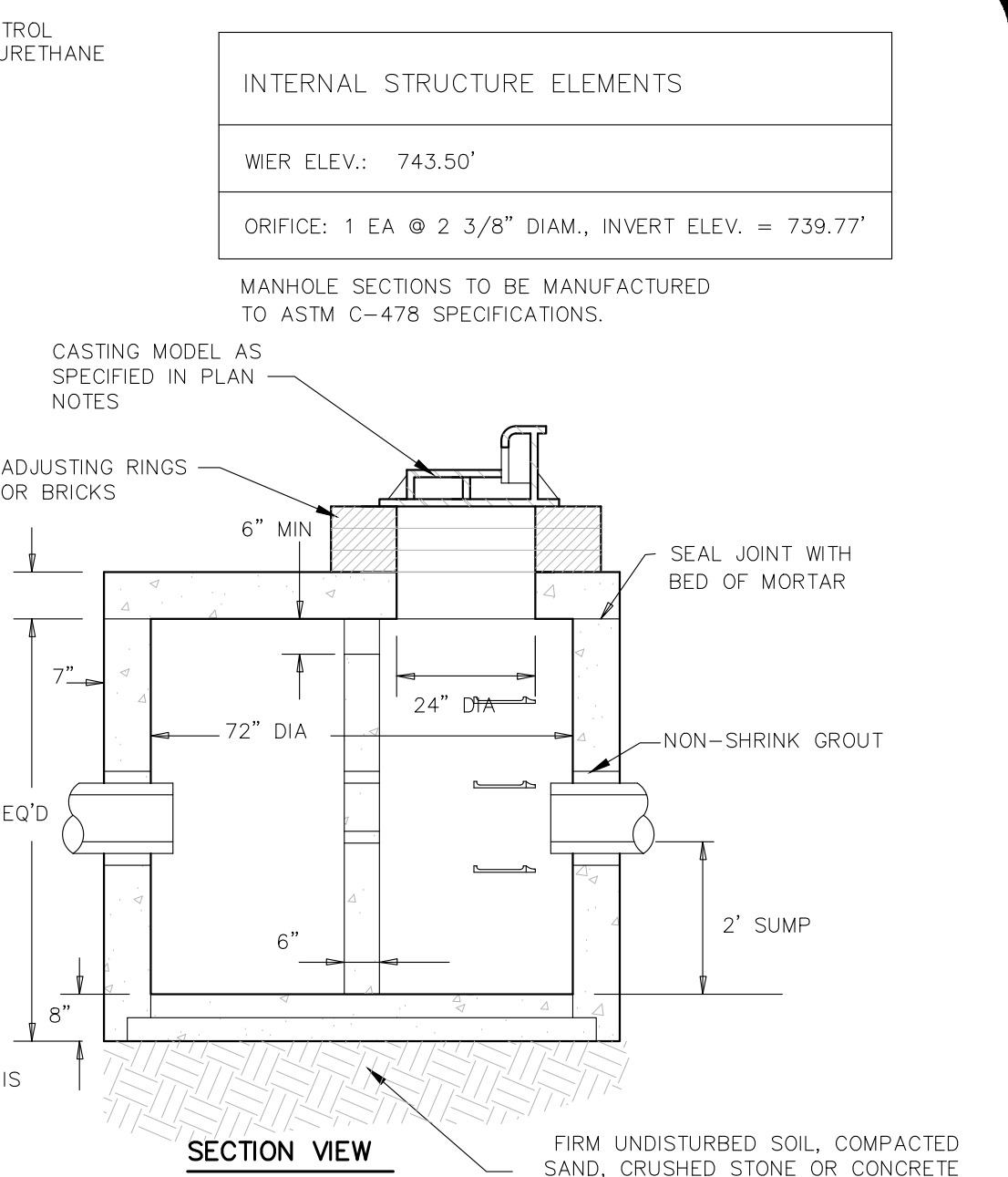
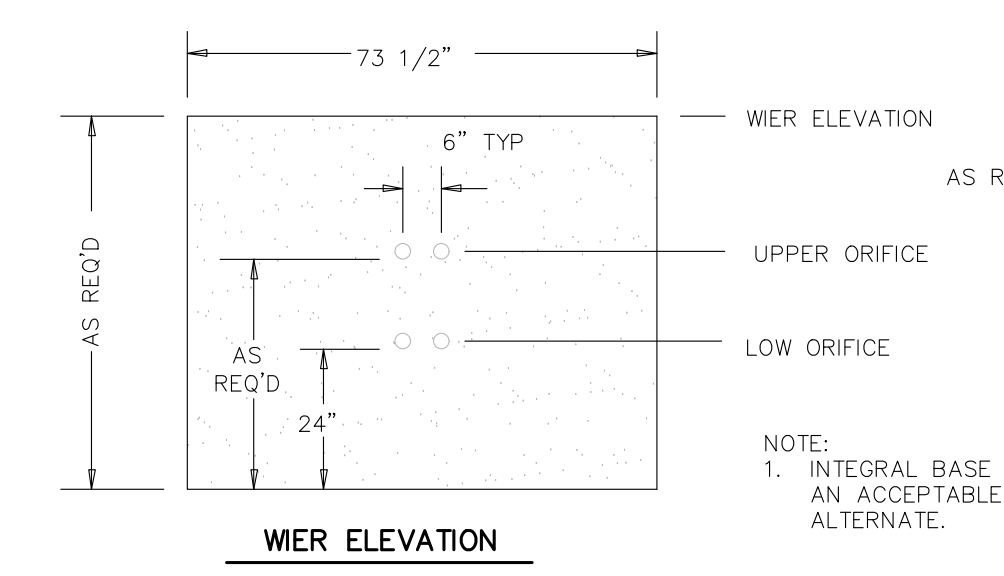
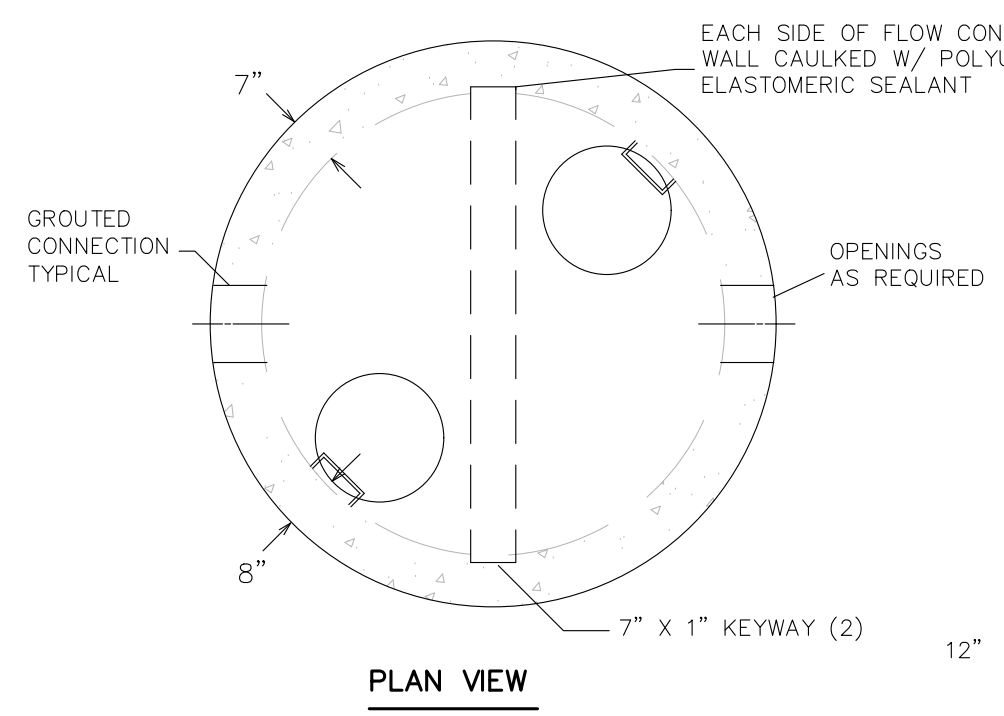
**CONCRETE PAD AND SCREENING FENCE FOR DUMPSTER**  
NOT TO SCALE



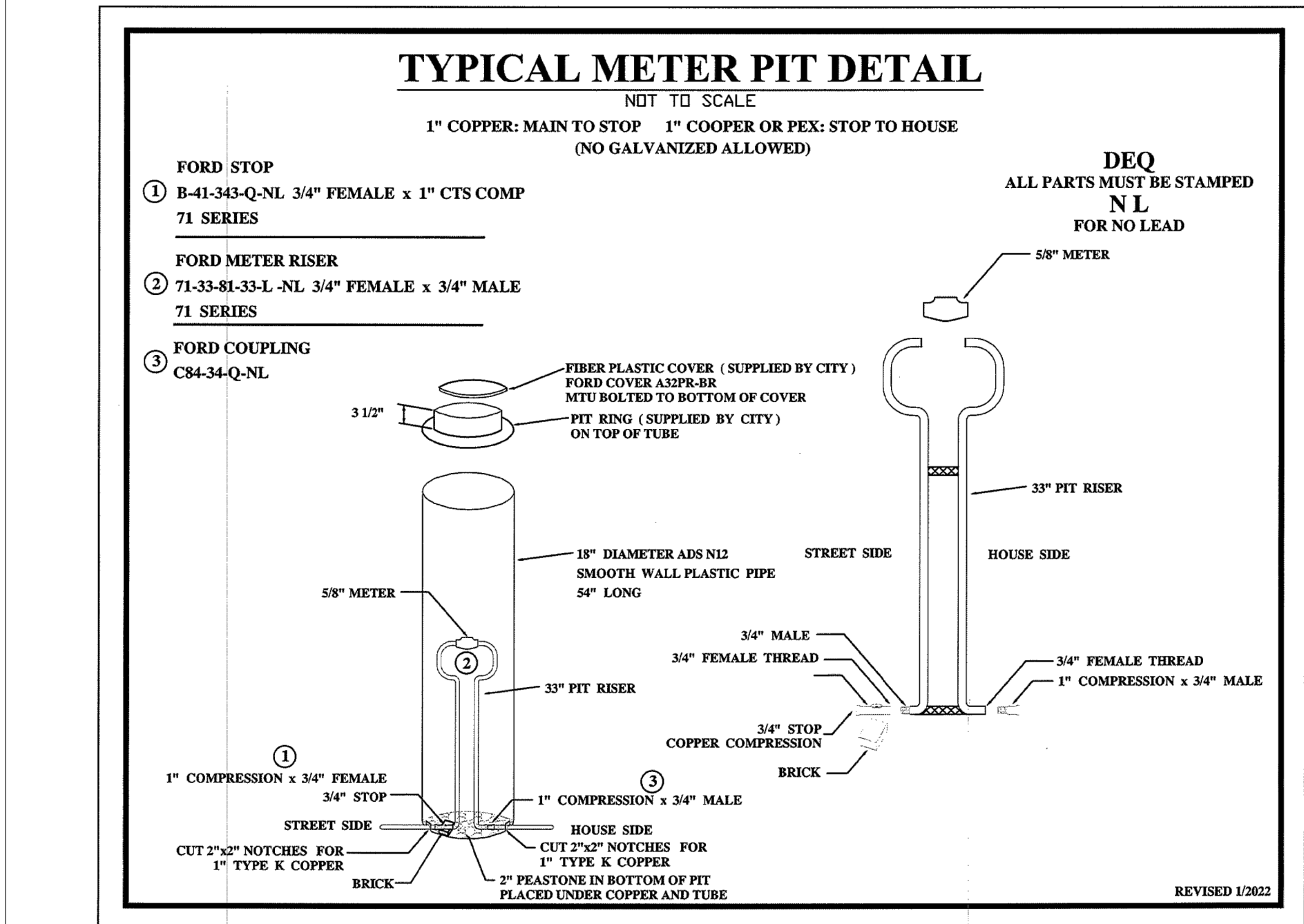
**CONCRETE BOLLARD**  
NOT TO SCALE



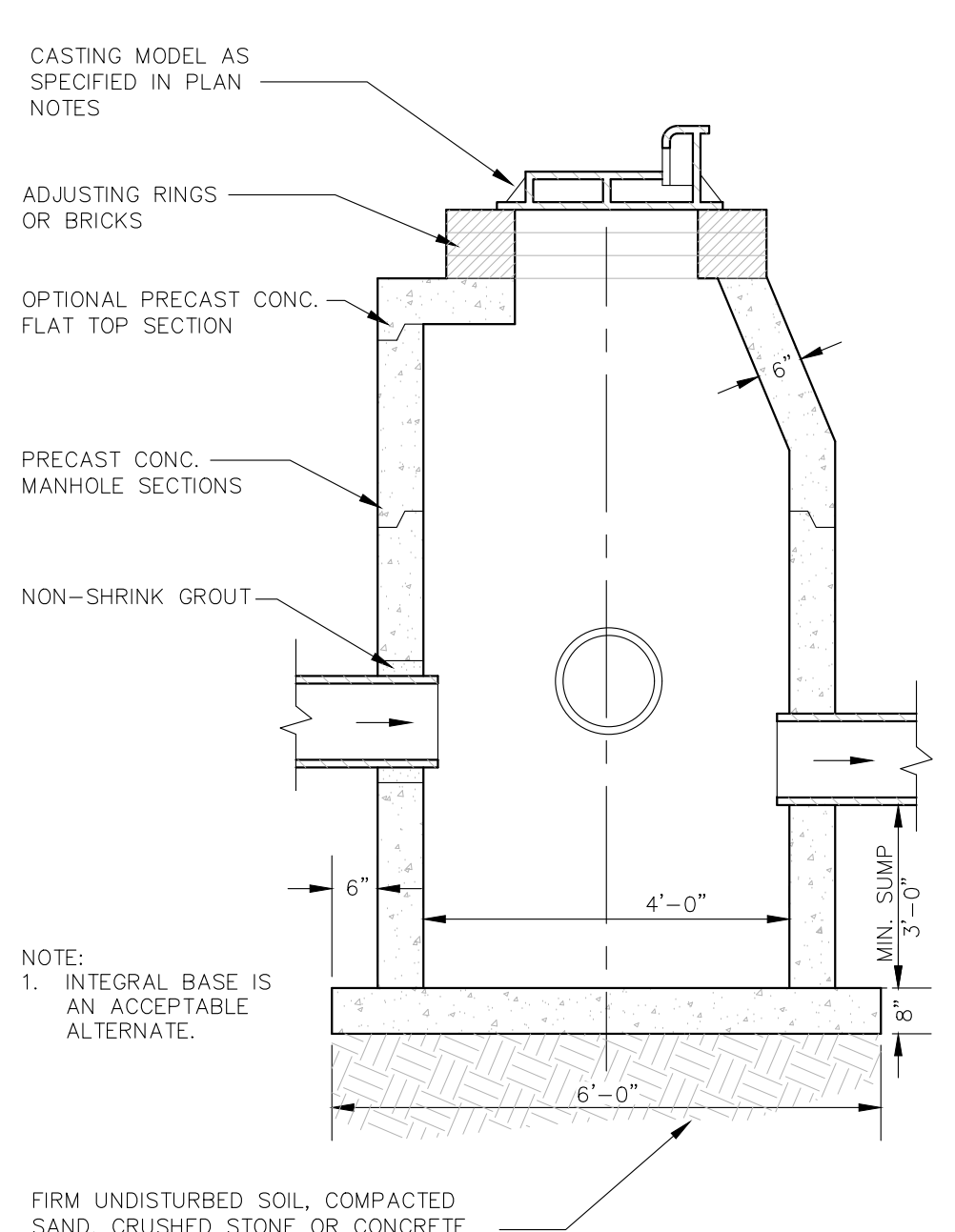
**THICKENED EDGE CONCRETE SIDEWALK**  
NOT TO SCALE



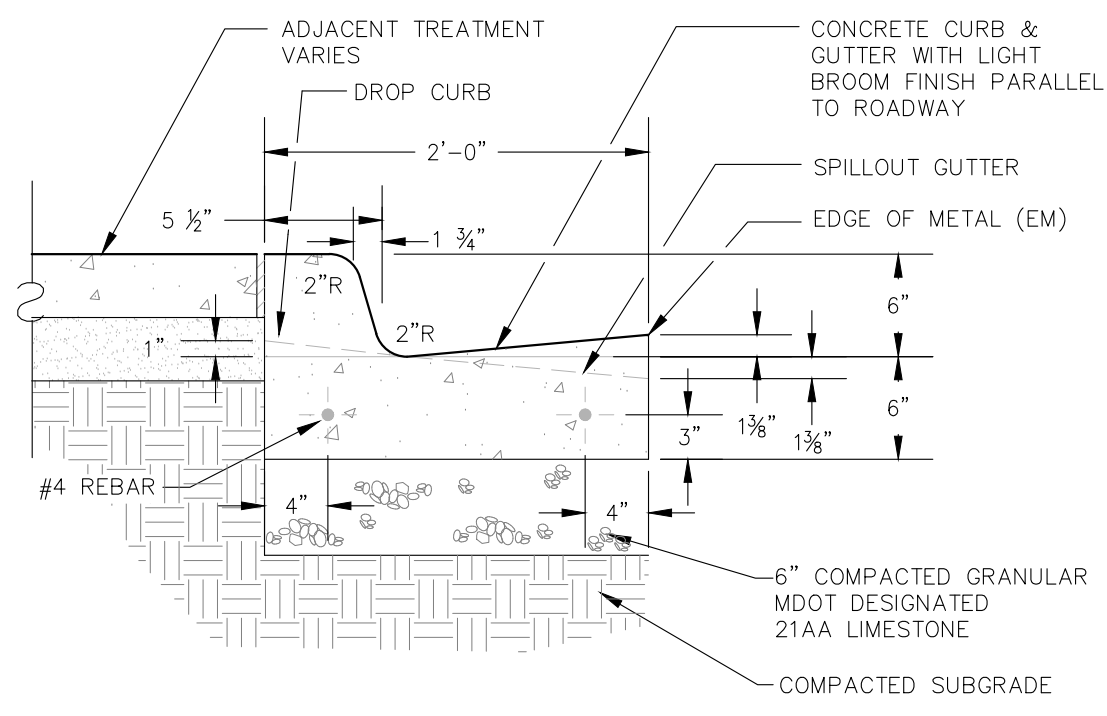
**72" DIA PRECAST OUTLET CONTROL STRUCTURE W/ OVERFLOW**  
NOT TO SCALE



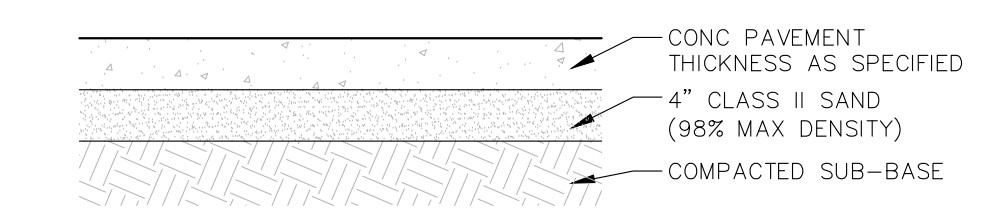
**TYPICAL METER PIT DETAIL**  
NOT TO SCALE



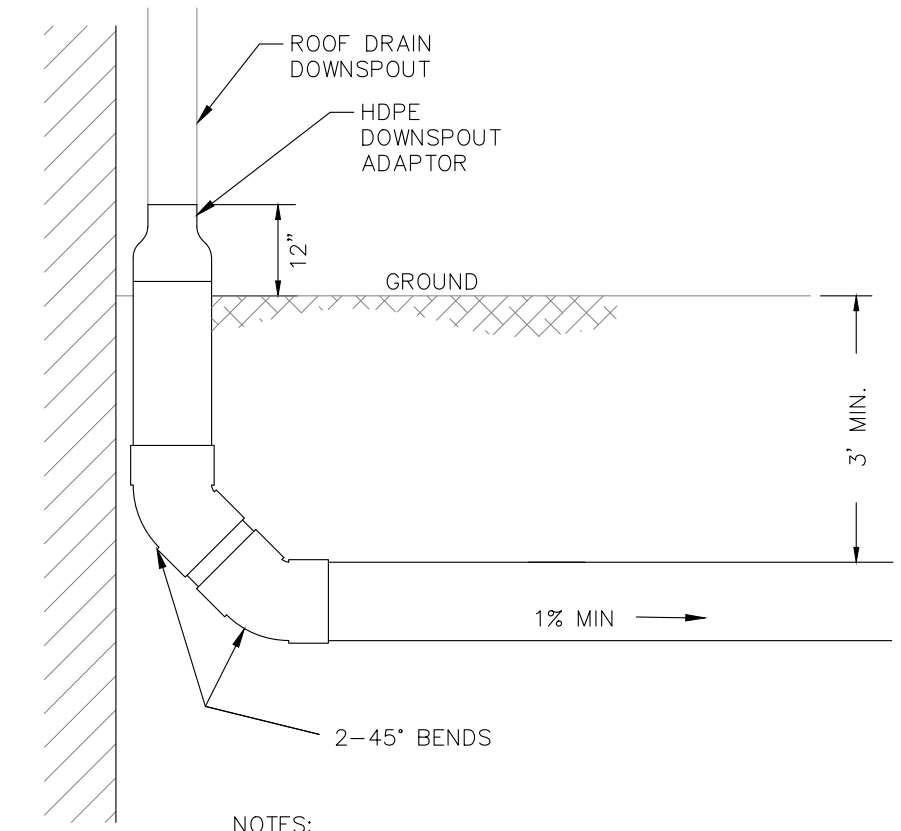
**STANDARD CATCH BASIN**  
NOT TO SCALE



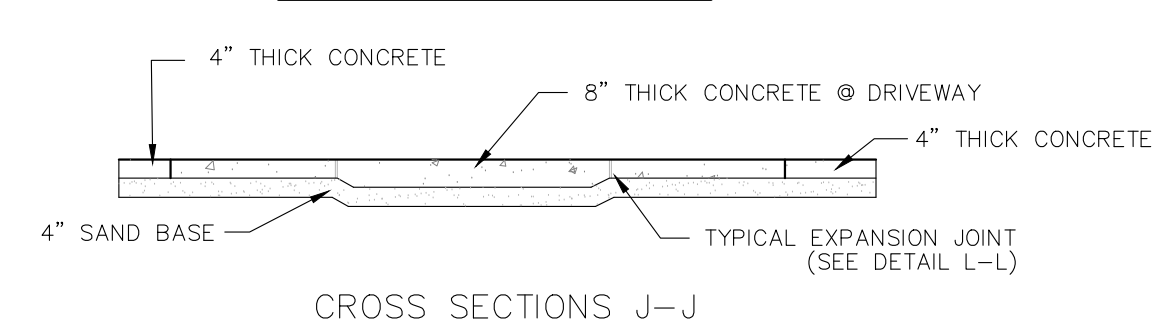
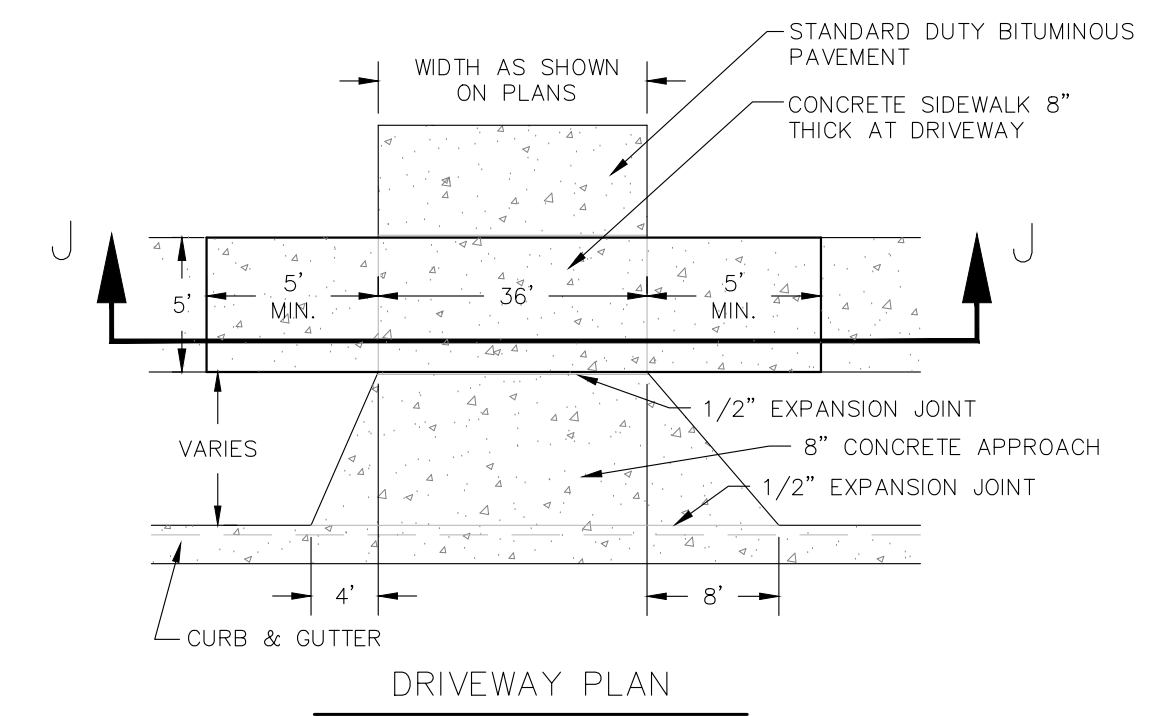
**CONCRETE CURB AND GUTTER**  
NOT TO SCALE



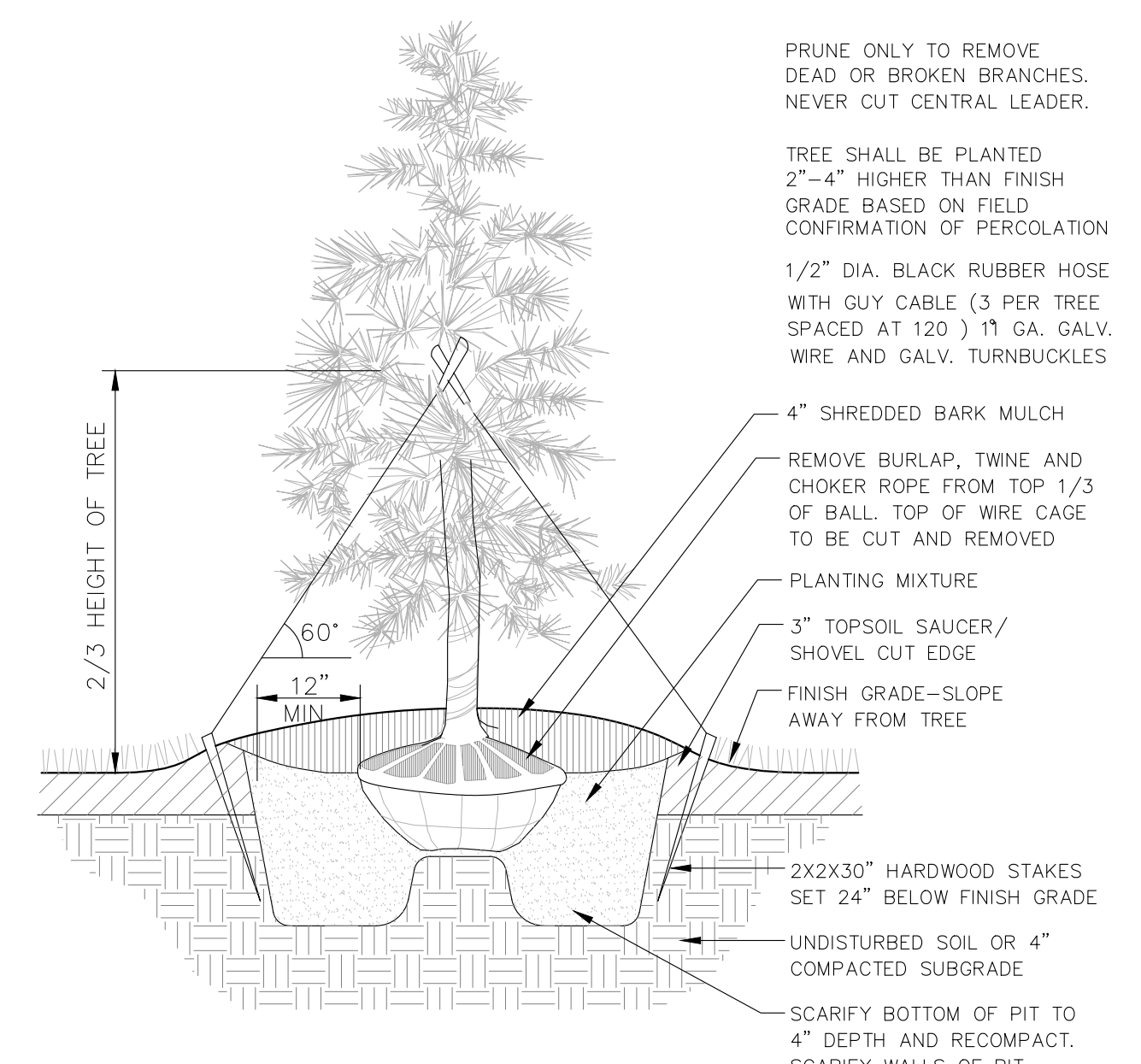
**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



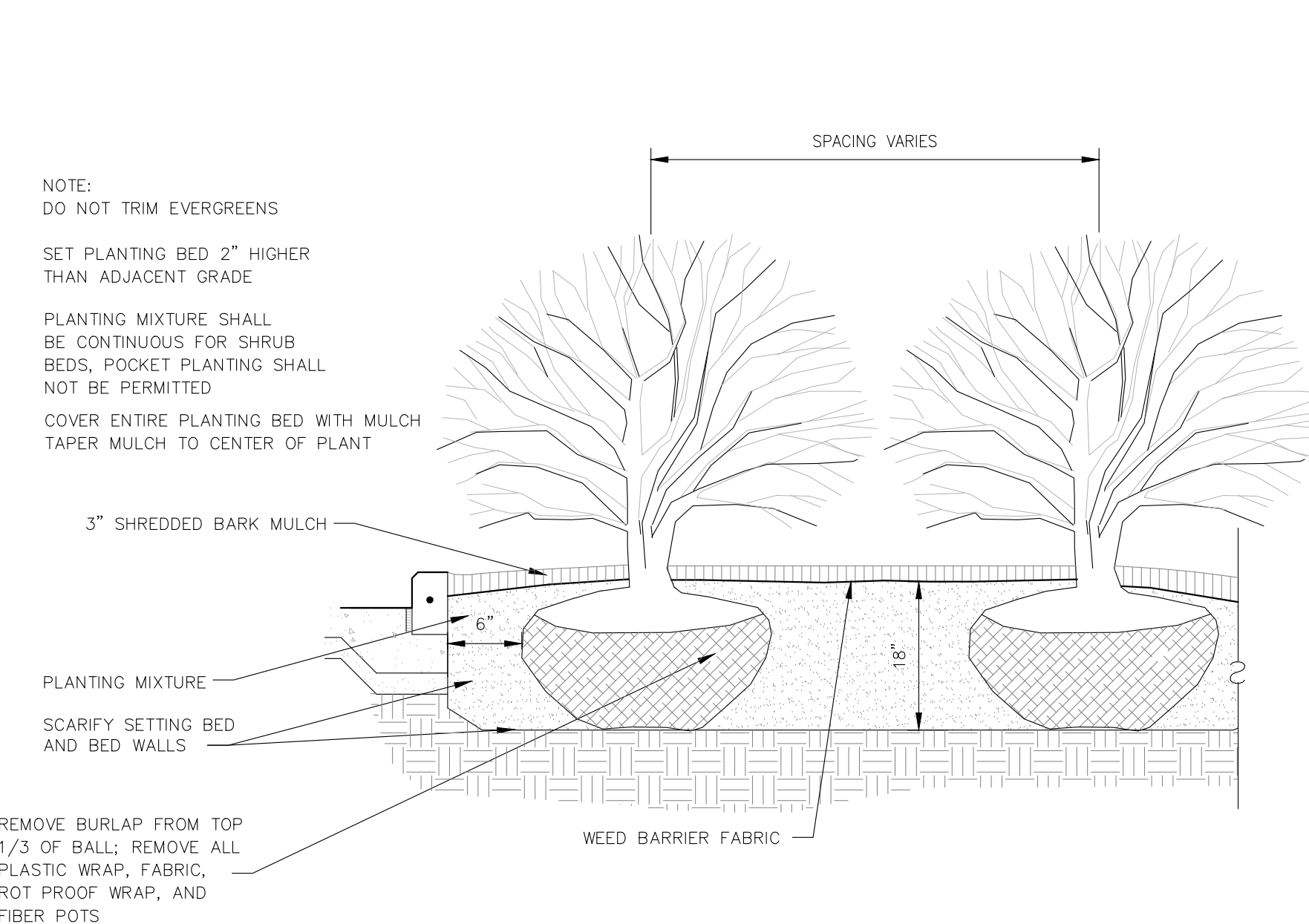
**ROOF DRAIN PIPING DETAIL**  
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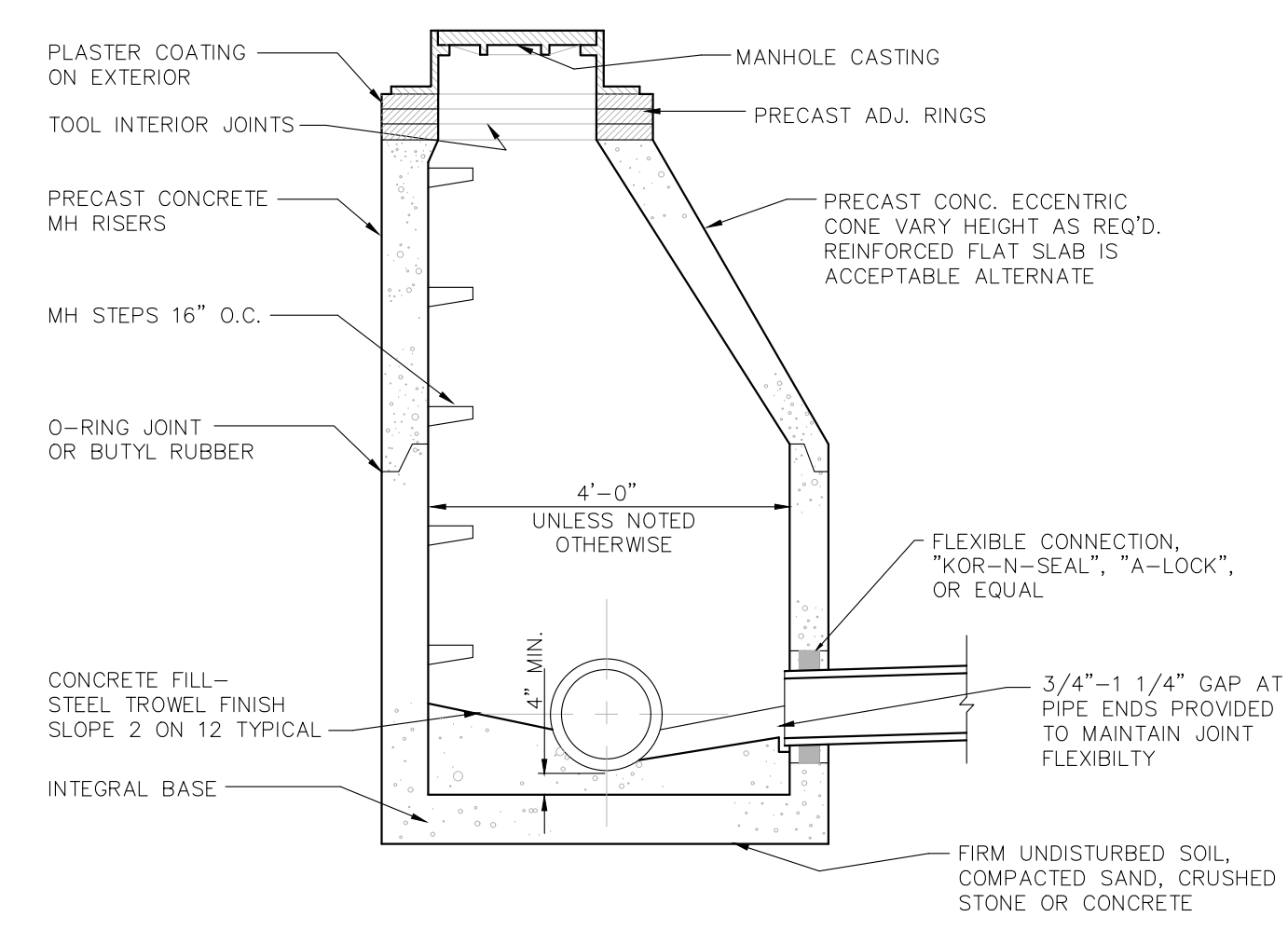
**CONC. DRIVEWAY OPENING DETAIL TYPE L**  
NOT TO SCALE



**CONIFEROUS TREE PLANTING (2 1/2" OR SMALLER)**  
NOT TO SCALE



**SHRUB PLANTING**  
NOT TO SCALE



**STANDARD SANITARY MANHOLE**  
NOT TO SCALE

**REVISIONS**


**ENGINEERING PC**

1210 N. CEDAR ST. SUITE B  
LANSING, MICHIGAN 48906  
PH: (517) 853-7866

**WASHINGTON PARK**  
CIVIL - DETAILS  
PLANS PREPARED FOR:  
VENTURE, INC.  
196 CESAR E. CHAVEZ AVENUE  
PONTIAC, MI 48342  
(517) 256-0286

SCALE: NONE    DRAWN BY: AJS    REVIEWED BY: DSC  
DATE: 03-22-2024    SHEET: 11 OF 14

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VENTURE - WASHINGTON PARK



**SESC NARRATIVE**

TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS SHALL CONSIST OF MULTIPLE METHODS. SILT FENCE WILL BE INSTALLED TO COLLECT SEDIMENTS AND DEBRIS PRIOR TO LEAVING THE SITE. AGGREGATE DRIVE ENTRANCE WILL BE INSTALLED TO PREVENT SEDIMENTS FROM BEING TRACKED ON THE ROADWAY. DEBRIS BAGS WILL BE INSTALLED AT THE ENDS OF EACH EXISTING ROAD.

**DESCRIPTION OF EARTH CHANGE**

EARTH CHANGE CONSIST OF THE CONSTRUCTION OF MULTI-FAMILY HOUSING, INCLUDING PUBLIC SANITARY, PUBLIC WATERMAIN, STORM SEWER.

**SOILS:**

ALL SOILS ON SITE ARE:

CvraaB = CONOVER LOAM, 0 TO 4 PERCENT SLOPES

**SITE DATA:**

TOTAL SITE AREA = 2.36 ACRES  
TOTAL DISTURBED AREA = 1.89 ACRES

**FURNISHED LEGAL DESCRIPTION:**

(SHIAWASSEE PROPERTY RECORDS)

COM 358' N & 33' W OF INTER S LN SEC 12 & C/L N WASH ST TH W 231' N 6' W 133.7' N 279' E 364.21' S 284' TO POB PART OF SE 1/4 SE 1/4 SEC 12 T7N R2E

**CERTIFIED STATEMENT OF EXCAVATED AND FILL MATERIALS:**

TOTAL CUT:

TOTAL FILL:

TOTAL SOIL HAULED OFF SITE:

TOTAL SOIL IMPORTED TO SITE:

**DESCRIPTION OF EXISTING AND PROPOSED DRAINAGE SYSTEMS:**

**EXISTING:**

EXISTING SITE DRAINS BY OVERLAND FLOW TO STORM SYSTEM IN WASHINGTON AVENUE AND TO THE WETLAND AREA TO THE WEST ON SITE.

**PROPOSED:**

PROPOSED SITE RUNOFF WILL BE COLLECTED BY AN ONSITE STORMWATER SYSTEM WHICH WILL DISCHARGE TO THE ONSITE STORMWATER DETENTION BASIN PRIOR TO DISCHARGING TO THE STORM SYSTEM IN WASHINGTON AVENUE.

**SESC KEYING SYSTEM:**

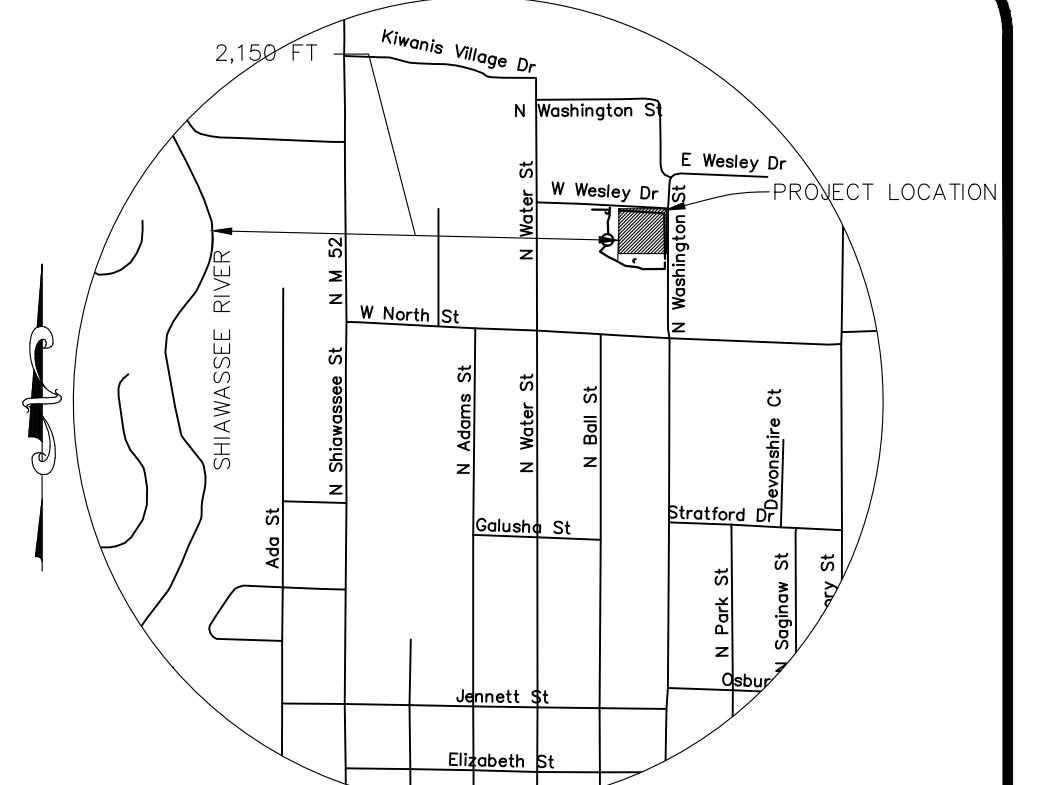
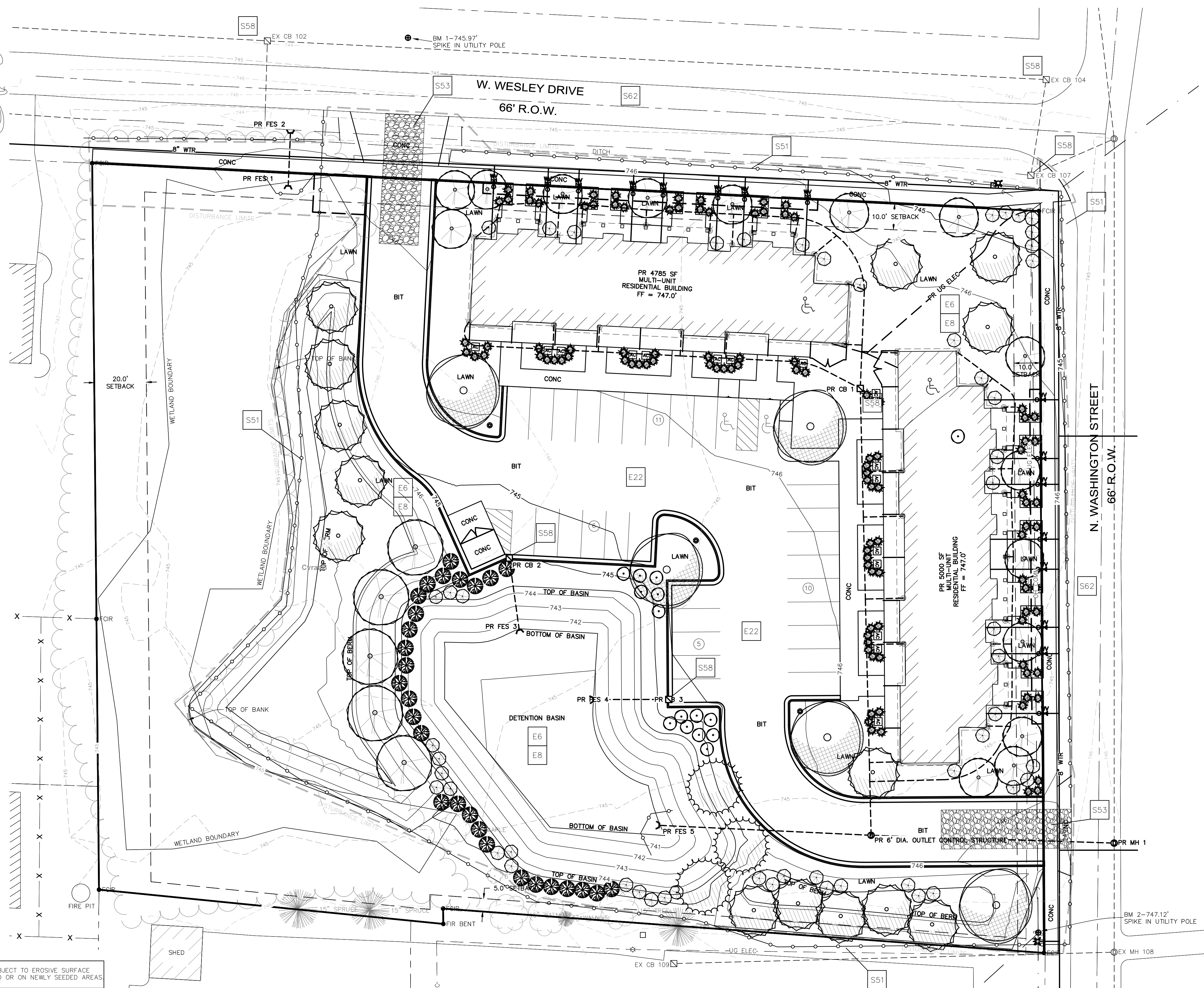
E6	MULCH		FOR USE IN AREAS SUBJECT TO EROSION SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDED AREAS.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).
E22	PAVEMENT		STABILIZATION METHOD UTILIZED ONSITE TO ESTABLISH A PERMANENT PATH OF TRAVEL.
S51	SILT FENCE		USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LADEN SHEET FLOW FROM ENTERING THESE AREAS.
S53	STABILIZED CONSTRUCTION ACCESS		USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
S58	INLET PROTECTION FABRIC DROP		USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.
S62	STREET SWEEPING		USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LADEN SHEET FLOW FROM ENTERING THESE AREAS.

**SESC CONSTRUCTION SCHEDULE:**

	MAY 2024	JUN 2024	JUL 2024	AUG 2024	SEP 2024	OCT 2024	NOV 2024	DEC 2024	JAN 2025	FEB 2025	MAR 2025	APR 2025	MAY 2025	JUN 2025
INSTALL SILT FENCE AND CB DEBRIS BAGS	●													
SITE GRADING	■	■	■	■	■	■	■	■	■	■	■	■	■	■
EXTERIOR CONC, PAVING AND BUILDING														
LANDSCAPE														
REMOVE TEMPORARY CONTROLS														●

**BENCHMARKS:**

BM1 - 745.97' - SPIKE IN UTILITY POLE, NORTH OF SITE ACROSS WESLEY DRIVE  
BM2 - 747.12' - SPIKE IN UTILITY POLE, SOUTH EAST CORNER OF SITE.



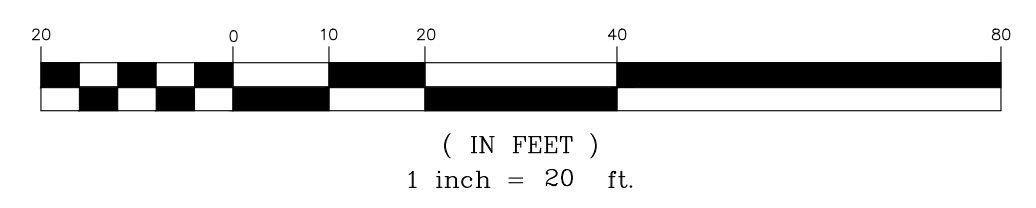
SITE LOCATION MAP  
NO SCALE

**LEGEND**

- LIMITS OF DISTURBANCE
- ○ ○ ○ ○ SILT FENCE
- SOIL TYPE CONTOURS PER NRCS WEB SOIL SURVEY
- SOIL XXX SOIL CLASSIFICATION PER NRCS WEB SOIL SURVEY
- SURFACE DRAINAGE PATH DIRECTION

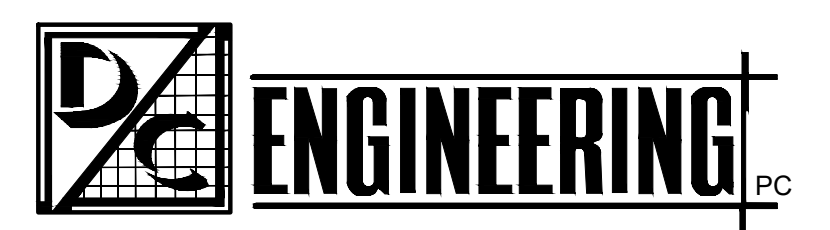
OWNER	TO BE DETERMINED
ENGINEER	DC ENGINEERING PC 1210 N. CEDAR ST., SUITE B LANSING, MICHIGAN 48906 (517) 853-7866
ARCHITECT	TO BE DETERMINED
CONSTRUCTION MANAGER	TO BE DETERMINED
CONTRACTOR	TO BE DETERMINED
CONTRACTOR	TO BE DETERMINED

**GRAPHIC SCALE**



**REVISIONS**

NO.	DATE	DESCRIPTION



1210 N. CEDAR ST., SUITE B  
LANSING, MICHIGAN 48906  
PH: (517) 853-7866

**WASHINGTON PARK  
CIVIL - SESC PLAN**

PLANS PREPARED FOR:  
VENTURE, INC.  
196 CESAR E. CHAVEZ AVENUE  
PONTIAC, MI 48342  
(517) 296-0286

SCALE: 1" = 20'	DRAWN BY: AJS	REVIEWED BY: DSC
DATE: 03-22-2024		SHEET: 12 OF 14

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VENTURE - WASHINGTON PARK

**SESC NOTES:**

- CONTRACTOR RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL (SESC) MEASURES DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL TEMPORARY SESC MEASURES AFTER OWNERS ACCEPTANCE OF AND SUBSTANTIAL COMPLETION OF THE PROJECT. OWNER WILL BE RESPONSIBLE FOR CONTINUED MAINTENANCE OF ALL PERMANENT SESC CONTROL MEASURES AFTER SUBSTANTIAL COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL SET ASIDE ENOUGH EXCAVATED MATERIAL FOR RESTORATION WORK INCLUDING FILL AND TOPSOIL MATERIAL. ALL OTHER EXCESS EXCAVATED MATERIAL SHALL BE HAULED OFF SITE IMMEDIATELY AFTER EXCAVATION.
- APPROVAL OF THIS SOIL EROSION PERMIT DOES NOT AUTHORIZE ANY EARTH DISTURBANCE ACTIVITY OFF-SITE, INCLUDING BUT NOT LIMITED TO REMOVAL OF EXCAVATED MATERIAL. SHOULD IT BECOME NECESSARY THAT EXCAVATED MATERIAL FROM THIS SITE NEEDS TO BE DEPOSITED OFF-SITE, THAT MATERIAL SHALL NOT BE REMOVED UNTIL THE DEPOSIT LOCATION AND THE RESULTING EARTH DISTURBANCE IS EVALUATED BY THE SHAWASSEE HEALTH DEPARTMENT FOR A SOIL EROSION PERMIT AND, IF NECESSARY, THOSE SOIL EROSION PERMITS HAVE BEEN ISSUED. THE PERMITTEE IS TO INFORM THE SHAWASSEE COUNTY HEALTH DEPARTMENT OF THE NEED TO REMOVE SOILS FROM THE SITE IN A TIMELY MANNER SO THAT OTHER PERMITS, IF NEEDED, CAN BE ISSUED.
- A MUNICIPALITY INSPECTOR IS TO VERIFY PROPER INSTALLATION OF APPROVED SESC MEASURES PRIOR TO COMMENCEMENT OF EARTH DISTURBANCE ON SITE.
- ALL TEMPORARY SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO EARTH DISTURBANCE ACTIVITY AND CHECKED DAILY FOR EFFECTIVENESS AND REPAIRED AS NEEDED.

**TRANSFER RESPONSIBILITIES**

IF PROPERTY SUBJECT TO THIS SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT IS TRANSFERRED WITH THE PROPERTY, THE PERMIT, INCLUDING ALL OBLIGATIONS AND CONDITIONS, ARE TRANSFERRED WITH THE PROPERTY ALONG WITH THE RESPONSIBILITY FOR ANY VIOLATIONS OF THE PERMIT THAT EXIST ON THE DATE OF THE TRANSFER OF THE PROPERTY. IF A PARCEL OF PROPERTY, BUT NOT THE ENTIRE PROPERTY IS TRANSFERRED, THE PERMIT OBLIGATIONS AND CONDITION WITH RESPECT TO THAT PARCEL ARE TRANSFERRED, BUT NOT THE PERMIT, ALONG WITH THE RESPONSIBILITY FOR ANY VIOLATIONS OF THE PERMIT WITH RESPECT TO THAT PARCEL THAT EXIST ON THE DATE OF THE TRANSFER OF THE PARCEL. NOTICE OF PROPERTY OR PARCEL TRANSFER SHALL BE SUBMITTED TO THE SHAWASSEE HEALTH DEPARTMENT PRIOR TO TRANSFER AND SHALL OTHERWISE BE IN COMPLIANCE WITH MCL 324.9912. MAINTENANCE RESPONSIBILITIES SHALL BECOME PART OF ANY SALES AGREEMENTS FOR THE LAND ON WHICH THE PERMANENT SESC MEASURES ARE LOCATED.

**RESPONSIBILITIES OF PERMITTEE AND ITS AGENTS**

THE LANDOWNER, CONTRACTOR(S), AND ANY AGENT INVOLVED IN OBTAINING OR EXERCISING AND PERFORMING THE EARTH WORK AUTHORIZED BY A SOIL EROSION PERMIT, ARE ALL HELD RESPONSIBLE TO ENSURE THAT THE WORK IS PERFORMED IN ACCORDANCE WITH ALL APPROVED PLANS, SPECIFICATIONS, AND CONDITIONS CONTAINED AND PERMITTED THEREIN. PRIOR TO INITIATING EARTH DISTURBANCE AUTHORIZED THEREIN, THE PERMITTEE IS REQUIRED TO PROVIDE A COPY OF THE PERMIT AND APPROVED SESC PLAN TO ANY CONTRACTOR(S) AND AGENTS INVOLVED WITH EARTH DISTURBANCE WORK. THE CONTRACTOR(S) AND AGENTS ARE REQUIRED TO PROVIDE A COPY OF THE PERMIT AND APPROVED SESC PLAN TO ALL SUBCONTRACTORS INVOLVED WITH EARTH DISTURBANCE WORK.

**CONTRACTOR RESPONSIBILITY**

FOR MULTIPLE CONTRACTORS WITH SESC RESPONSIBILITIES DEFINE RESPONSIBILITIES HERE.

**TEMPORARY SESC SPECIFICATIONS**

- TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO ALL OTHER WORK.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING ORDER FOR THE DURATION OF THE PROJECT.

**SILT FENCE**

- INSTALLATION.
  - SILT FENCE SHALL BE COMMERCIALY AVAILABLE GEOTEXTILE SILT FENCE.
  - TRENCH FOR GEOTEXTILE TOE-IN ALONG THE FENCE ALIGNMENT.
  - TRENCH SHALL BE APPROXIMATELY 6" DEEP AND 6" WIDE.
  - SILT FENCE TEXTILE SHALL BE TOED INTO THE GROUND A MINIMUM OF 6 INCHES, OR DEEP ENOUGH TO MAINTAIN A TIGHT SEAL BETWEEN THE GROUND AND THE FENCE, WHICH EVER IS GREATER.
  - EXCAVATED MATERIAL SHALL BE BACKFILLED INTO THE TRENCH SUCH THAT THE MATERIAL IS ON THE UP-SLOPE SIDE OF THE GEOTEXTILE MATERIAL.
  - SILT FENCE SHALL BE SECURELY STAKED
  - SILT FENCE SHALL BE INSTALLED FOLLOWING A CONTOUR WHERE POSSIBLE

- MAINTENANCE
  - SILT FENCE SHALL BE REINSTALLED IF THE SEAL BETWEEN THE GROUND AND THE FENCE IS COMPROMISED OR IF THE FENCE BECOME LOOSE FROM ITS STAKING.
  - FENCE SHALL BE TOED IN DEEPER THAN THE ORIGINAL INSTALLATION IF THE FAILURE WAS A RESULT OF INADEQUATE DEPTH OF BURY FOR THE SPECIFIC SITE CONDITIONS.
  - SEDIMENT BUILDUP ON THE UP-SLOPE SIDE OF SILT SHALL BE REMOVED IF IT COVERS 50% OR MORE OF HEIGHT OF SILT FENCE.

- REMOVAL
  - SILT FENCE SHALL BE REMOVED AFTER A HEALTHY GROWTH OF VEGETATIVE COVER IS ESTABLISHED.
  - REMOVE SILT FENCE FABRIC AND STAKES
  - PREPARE GROUND AND ESTABLISH VEGETATIVE GRASS SURFACE IN ACCORDANCE WITH THE PERMANENT SESC SPECIFICATIONS ITEM #2.

**STREET SWEEPING**

- SOIL AND DEBRIS TRACKED ONTO THE PUBLIC ROADS AND ADJACENT PARKING LOT AREA SHALL BE CLEANED UP IMMEDIATELY.
- STREETS SHALL BE SWEEPED WITH EQUIPMENT CAPABLE OF COLLECTING AND CONTAINING THE SOILS AND DEBRIS.
- SOIL AND DEBRIS COLLECTED SHALL BE PROPERLY DISPOSED OF.
- ROAD SURFACE SHALL BE ADEQUATELY WETTED TO PREVENT DISPERSION OF SOILS AND DEBRIS BY WIND BLOWN DUST.

**EROSION CONTROL FILTER BAGS**

- INSTALLATION
  - EROSION CONTROL FILTER BAGS SHALL BE HIGH-FLOW CATCH BASIN SILT COLLECTORS AS MANUFACTURED BY THE FOLLOWING, OR APPROVED EQUAL:
    - A.C.F. - "SILT SACK"
    - CONSTRUCTION SUPPLY, INC. - "BASIN BAG"
    - DANDY PRODUCTS - "DANDY CURB SACK"
  - FILTER-FABRIC SHALL BE SECURED BY PLACING OVER CATCH BASIN FRAME AND REINSTALLING COVER. FABRIC SHALL BE SEATED AROUND THE ENTIRE PERIMETER OF FRAME.
  - FILTER BAGS SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS.

- MAINTENANCE
    - CLEAN FILTRATION FABRIC AND COLLECTION BAGS AS NEEDED TO OPTIMIZE PERFORMANCE.
    - CAREFULLY REMOVE FABRIC OR BAG TO PREVENT SPILLAGE OF DEBRIS INTO STORM SYSTEM. SOIL AND DEBRIS COLLECTED SHALL BE PROPERLY DISPOSED CLEAN FABRIC OR BAG AND REPLACE.
- REMOVAL
    - DO NOT REMOVE UNTIL SITE IS STABILIZED AND PAVEMENTS ARE SWEEPED. DO NOT REMOVE UNTIL ENGINEER APPROVES SITE.
    - CAREFULLY REMOVE AND PROPERLY DISPOSE OF FILTERS AND DEBRIS.

**TEMPORARY SEEDING**

- ALL AREAS THAT ARE TO BE LEFT INACTIVE FOR A DURATION OF MORE THAN 2 WEEKS SHALL HAVE AN APS SILT STOP TACKIFIER OR APPROVED EQUAL INSTALLED.

**MULCH BLANKETS**

- FOR SLOPES LESS THAN 1 VERTICAL TO 3 HORIZONTAL, MULCH BLANKETS SHALL BE "NORTH AMERICAN GREEN DS75" OR APPROVED EQUAL. MULCH BLANKET SHALL HAVE AN ACCELERATED BIO- OR PHOTODEGRADABLE MULCH BLANKET NETTING WITH AN APPROXIMATE FUNCTIONAL LONGEVITY OF 60 DAYS.
- FOR SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL, MULCH BLANKETS SHALL BE "NORTH AMERICAN GREEN SC150" OR APPROVED EQUAL.

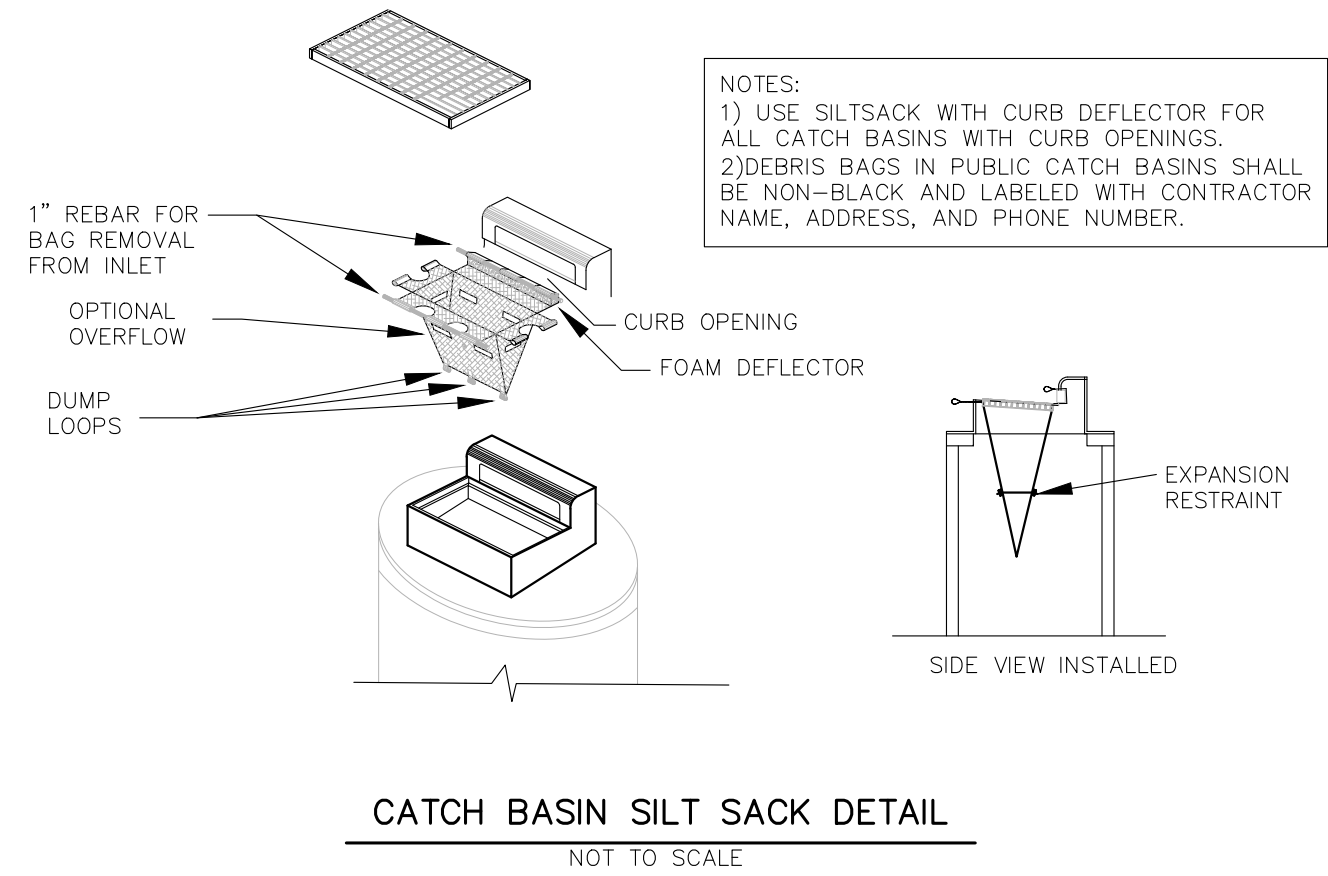
**PERMANENT SESC SPECIFICATIONS**

- MAINTENANCE
  - REMOVE DEBRIS AND SEDIMENT FROM ALL CATCH BASINS.
  - MAINTAIN LAWN AREAS SUCH THAT GRASS IS THICK AND HEALTHY, WATER AND RE-SEED AS NEEDED.
  - CLEAN STORM SEWER OF DEBRIS AND SEDIMENT ON AN AS NEEDED BASIS TO MAINTAIN PROPER DRAINAGE AND OVERALL FUNCTION OF THE SYSTEMS.

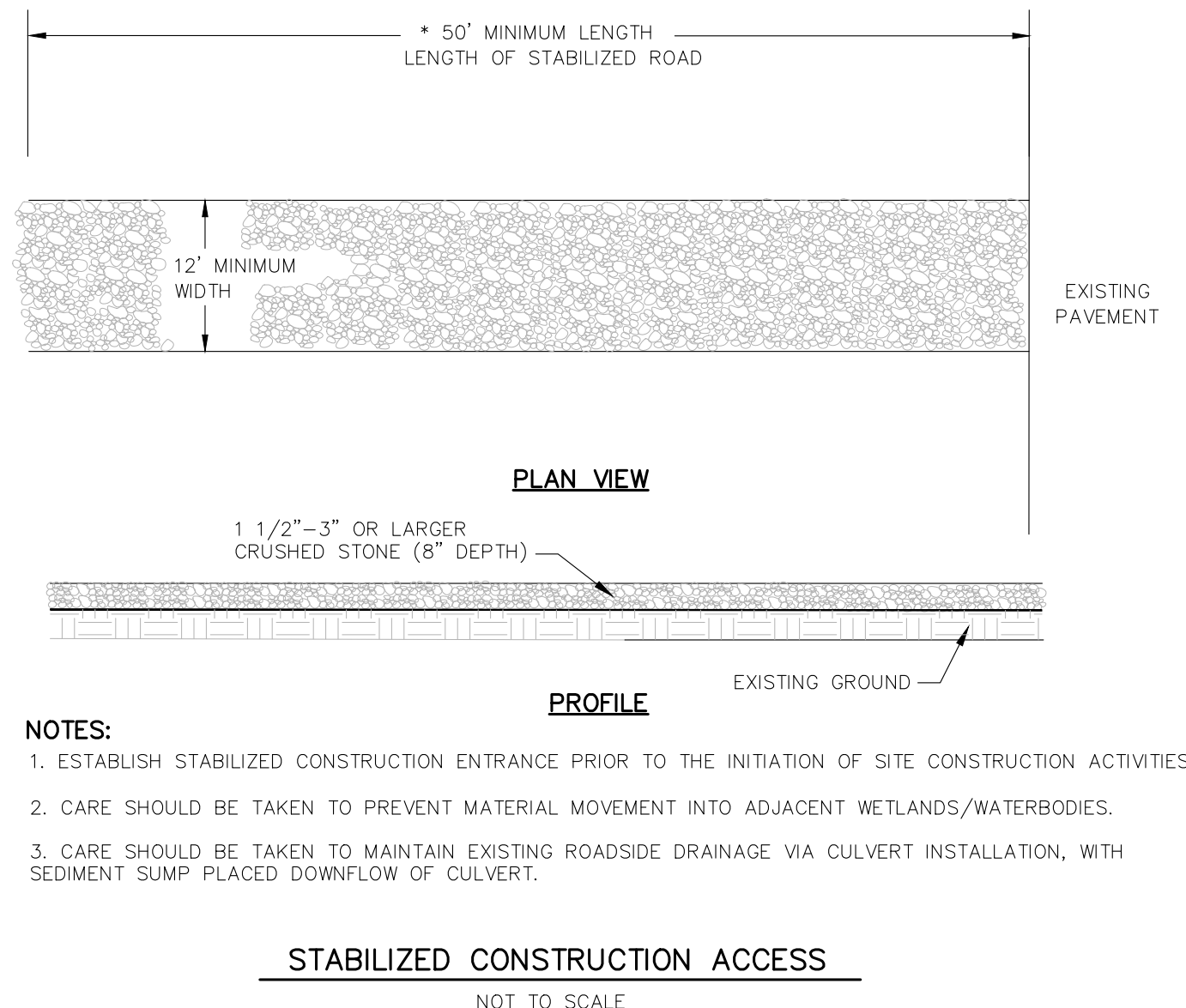
**PERMANENT SEEDING**

- SOIL PREPARATION
  - LIMIT PREPARATION TO AREAS THAT SHALL BE PLANTED IN IMMEDIATE FUTURE.
  - LOOSEN SUB-GRADE TO A MINIMUM DEPTH OF 3 INCHES. REMOVE TRASH, DEBRIS, STONES LARGER THAN 1-1/2 INCHES DIAMETER, STICKS, ROOTS, RUBBISH, AND OTHER OBJECTS THAT MAY INTERFERE WITH PLANTING OR MAINTENANCE OPERATIONS.
  - GRADE LAWN AND GRASS AREAS TO A SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED WITHIN IMMEDIATE FUTURE.
  - RESTORE PREPARED AREAS TO SPECIFIED CONDITION IF ERODED OR OTHERWISE DISTURBED AFTER FINE GRADING AND BEFORE PLANTING.
- SEED MIXTURE
  - FERTILIZER SHALL BE COMMERCIAL, READY-MIXED GRANULAR OR LIQUID MATERIAL CONTAINING EQUAL AMOUNTS BY WEIGHT OF AVAILABLE NITROGEN (N), READILY AVAILABLE PHOSPHORIC ACID (P2O5) AND TOTAL AVAILABLE POTASH (K2O). GRASS SEED SHALL BE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED OF GRASS SPECIES AND PROPORTIONS AS SCHEDULED, AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED AS SPECIFIED.

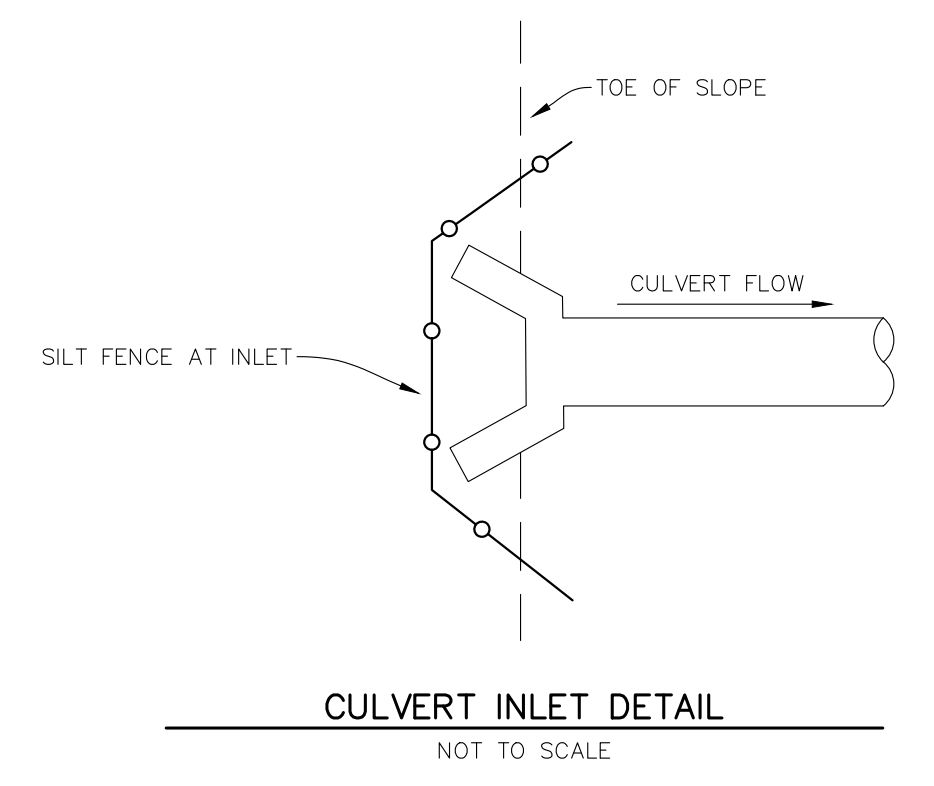
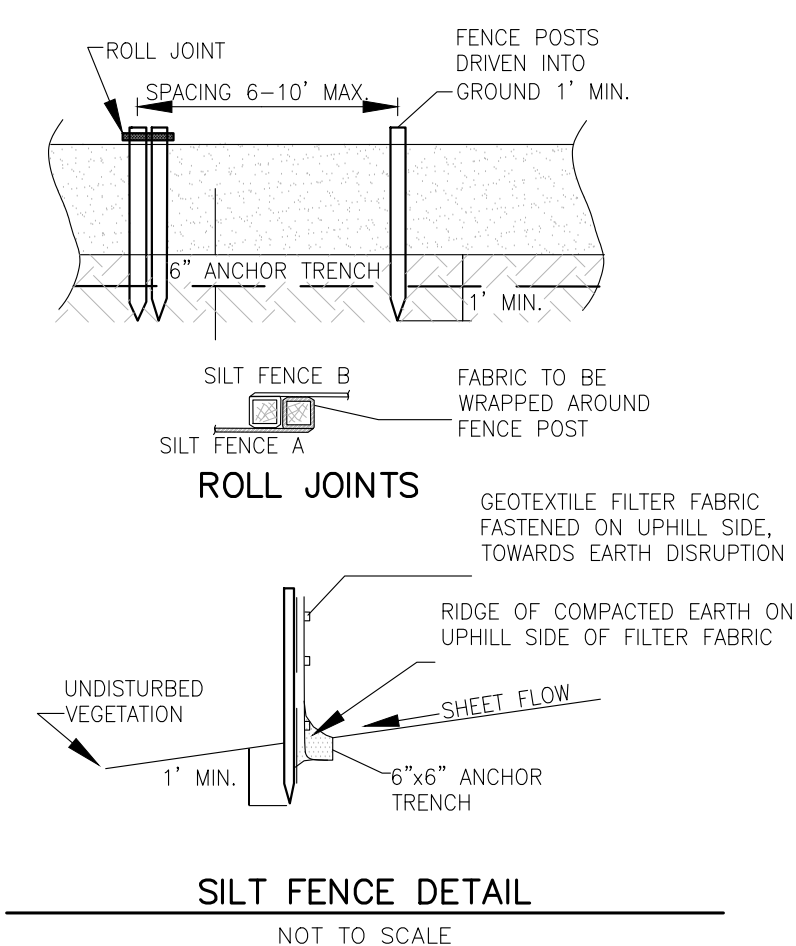
Proportion by Weight	Common Name	Botanical Name	Min. % Germ	Min. % Pure Seed	Max. % Weed Seed
15%	PARK KENTUCKY BLUEGRASS	POA PRATESIS VAR.	85%	98%	0.20
35%	AQUILA KENTUCKY BLUEGRASS	POA PRATESIS VAR.	85%	98%	0.20
20%	RUBY CREEPING RED FESCUE	FRETUCA RUBRA, F. LONGIFOLIA	85%	97%	0.20
10%	PENNFINE PERENNIAL RYEGRASS	LOLIUM PERENNE	85%	97%	0.20
20%	SCALDIS HARD FESCUE	FRETUCA RUBRA, F. LONGIFOLIO	85%	97%	0.20



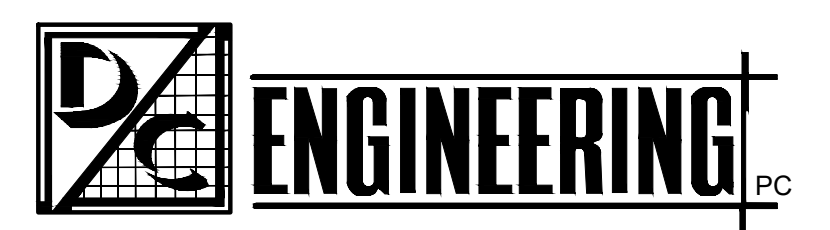
NOTES:  
 1) USE SILTSACK WITH CURB DEFLECTOR FOR ALL CATCH BASINS WITH CURB OPENINGS.  
 2) DEBRIS BAGS IN PUBLIC CATCH BASINS SHALL BE NON-BLACK AND LABELED WITH CONTRACTOR NAME, ADDRESS, AND PHONE NUMBER.



NOTES:  
 1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INITIATION OF SITE CONSTRUCTION ACTIVITIES.  
 2. CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WETLANDS/WATERBODIES.  
 3. CARE SHOULD BE TAKEN TO MAINTAIN EXISTING ROADSIDE DRAINAGE VIA CULVERT INSTALLATION, WITH SEDIMENT SUMP PLACED DOWNFLOW OF CULVERT.



REVISIONS



1210 N. CEDAR ST. SUITE B  
 LANSING, MICHIGAN 48906  
 PH: (517) 853-7866

**WASHINGTON PARK**  
 CIVIL - SESC NOTES

PLANS PREPARED FOR:  
 VENTURE, INC.  
 196 CESAR E. CHAVEZ AVENUE  
 PONTIAC, MI 48342  
 (517) 296-0286

SCALE: 1" = XX'	DRAWN BY: AJS	REVIEWED BY: DSC
DATE: 03-22-2024		SHEET: 13 OF 14



PLOT DATE: 3/29/2024 1:45:37 PM SAVED BY: JUAN SAVED DATE: 3/27/2024 3:51:45 PM DWG NAME: 10 CIVIL - SESC NOTES.DWG

VENTURE - WASHINGTON PARK